

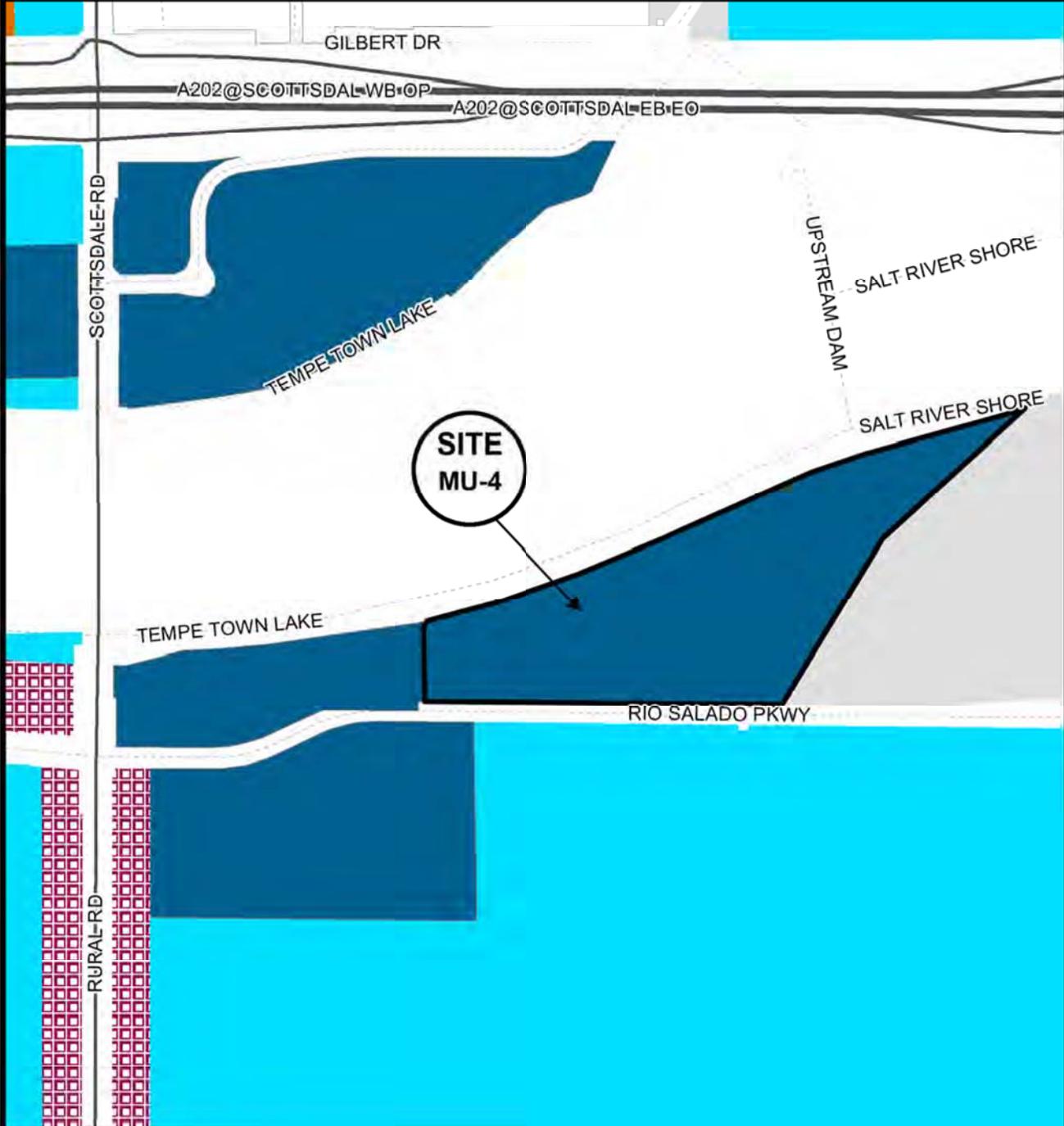
DEVELOPMENT PROJECT FILE

for
THE PIER
(PL160248)

ATTACHMENTS:

1. Location Map
 2. Aerial
 - 3-7. Letter of Explanation
 8. Pier 202 Lot Diagram Sheet EX-01
- Proposed New Plans:**
9. Planned Area Development Cover Sheet T1-01
 10. Site Plan Sheet T1-02
 - 11-12. Refuse Diagram and Basement Refuse Transport Plan Sheets RP-01 and PR-02
 13. Easement Modification Diagram Sheet EM-01
 14. Concept Site Plan Showing Hardscape Sheet A1-00
 - 15-18. Below Grade Parking Garage Floor Plan Sheets A1-00-03
(ordered from B4 lowest level up to B1 first level below street level)
 19. First Floor Plan Sheet A1-05
 20. Plinth Level Sheet A1-06
 21. Second Floor Plan Sheet A1-07
 22. Third-Fifth Floor Plans Sheet A1-08
 23. Sixth Floor Plan Sheet A1-09
 24. Seventh-Twenty-Fourth Floor Plans Sheet A1-10
 25. Roof Plan Sheets A1-11
 26. Landscape Plan Sheets L1.1 (upper floor landscape not changed)
 - 27-41. Black and White Elevations Sheets A3-08 through A3-14.9
 42. Building Section Sheet A4-01
 - 43-44. Section Details and Street Tree Planting Section Sheet A4-02 & A4-03

THE PIER **PL150426**



Location Map

THE PIER	PL150426
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Aerial Map

THE PIER
ENTITLEMENT APPLICATION
PAD, DPR, & Use PERMIT MODIFICATIONS

LOT 5, PIER 202
E OF NEC RIO SALADO PKWY & RURAL RD.
TEMPE, ARIZONA

PREPARED FOR:
SPRINGBROOK DEVELOPMENT, L.L.C.
ROBERT FRANSWAY
MEMBER

APPLICANT:
SENDER ASSOCIATES, CHARTERED
DARIN A. SENDER, ESQ. JENNIFER K. BOBLICK, ESQ.
464 S. FARMER AVENUE, SUITE 102
TEMPE, ARIZONA 85281 (480) 966-6735
DARIN@SENDERLAW.COM JEN@SENDERLAW.COM

July 5, 2016

SPRINGBROOK
DEVELOPMENT, LLC



**THE PIER
LETTER OF EXPLANATION**

Springbrook Development, LLC respectfully submits the following entitlement request for amendments to The Pier, an approved mixed-use, high-rise development proposed for Lot 5 within the Pier 202 Masterplan - east of the northeast corner of Rio Salado Parkway and Rural Road (the "Site"). The requested amendments are the result of transitioning from design development drawings used during initial entitlement approval to the construction documents used for building permitting and physical construction.

Changes from the design phase to the construction phase are not unique to this project, yet require minor adjustments to the approved PAD. Specifically, Springbrook seeks an Amended Planned Area Development overlay (PAD) to modify development standards in the existing approved PAD; a Development Plan Review (DPR) for modifications to the approved buildings, landscaping, and site plan; and a Use Permit to increase the number of tandem parking stalls.

I. APPLICATION REQUESTS

The purpose of this Application is to amend the existing PAD overlay for the Pier to accommodate changes made during creation of construction documents. The PAD modifications will allow The Pier to establish new development standards that will reflect the changes necessary for construction. The DPR request is for minor changes to elevations at an area of ground level retail, building height, and a small portion of landscaping. Additionally, certain conditions of approval have presented conflicts in terms of timing and must be amended accordingly. Finally, a Use Permit to increase the amount of tandem parking stalls from 90 to 108 is also requested.

A. PLANNED AREA DEVELOPMENT OVERLAY AMENDMENT

The approved Pier PAD set development standards for The Pier that matched the project as drafted during the design development phase. Subsequent to the approval process, the structural floor system changed from composite steel joists and concrete to a post-tensioned concrete system. The new structural system yields a much thinner floor plate, therefore, over the approved 23 stories, approximately 20 feet in building height was lost. To mitigate the loss in height and bring the towers closer to the original approved height, an additional floor was added to each tower, thereby increasing the number of residential units. In addition, the change in structural system resulted in a different mix of units throughout the project. The net result is an increase in overall residential units, an increase from 23-stories to 24-stories, but an overall decrease in building height by approximately 10 feet.

To accommodate the changes, the amendments to the PAD are requested:

- 1)** Springbrook seeks to increase the number of residential units by 35 units from 551 to 586. As discussed above, the change in structural systems added an additional floor of residential to each tower with 12 units each. Additionally, two and three-bedroom units on the 2nd through

6th floors have been revised to be more in line with market trends. Finally, the complex geometry of the base level of the building plans allowed a more efficient layout of smaller residential units. As a result, the number of residential units has increased. At just 6.25% above the currently approved PAD, this increase in residential units is relatively minor.

- 2) The proposed addition of 35 residential units equates to a 6.25% increase in residential density from 208dua to 221dua. This density complies with the Site’s General Plan 2040 Projected Residential Density designation of “High Density Urban Core (>65 dua) and is in line with the vision of the Pier 202 PAD Masterplan, which anticipated high-rise, high-density mixed-use development.
- 3) The building height is proposed to be decreased by ±10’ from about ±292’-6” to ±282’-6.5” (to top of mechanical). As discussed above, the new structural system creates a much thinner floor plate. The resulting height loss over the 23 stories resulted in a 20-foot reduction in building height, which had an impact on the proportions and aesthetics of the towers. To mitigate this impact, one floor was added to each tower, resulting in a smaller and more proportionate decrease in building height. This requested 3.50% reduction in building height is a minor adjustment to the approved PAD.
- 4) The landscape coverage is proposed to increase from 11% to 12.26%, another minor adjustment from the approved standard, and a welcome addition to the overall landscaping.
- 5) The Pier PAD amendment will establish new standards for required parking based on an updated parking study. Using the zoning ordinance required parking ratios, the Pier currently requires 1,217 parking spaces. The updated parking study included with the application submittal indicates that 1,071 spaces (see below for calculation) is appropriate for this project. Again, this is a minor reduction at a 3.16% decrease in provided parking.
- 6) Conditions of approval regarding the abandonment of the existing Vista del Lago right-of-way and plat requirements have presented conflicts in terms of timing and must be amended to resolve any conflicts.

PAD Proposed Development Standards Table

PAD PROJECT DATA COMPARISON

DEVELOPMENT STANDARD	EXISTING PAD APPROVAL (LOT 5 (old Lot 4A))	PAD PROPOSED (LOT 5)	CHANGE REQUESTED
GENERAL PLAN LAND USE	MIXED-USE	MIXED-USE	<i>No change</i>
GENERAL PLAN DENSITY	HIGH DENSITY - URBAN CORE (>65dua)	HIGH DENSITY - URBAN CORE (>65dua)	<i>No change</i>
SITE AREA	115,395 S.F. (2.649 AC)	115,395 S.F. (2.649 AC)	<i>No change</i>
DWELLING QUANTITY	551 units	551 units	(+)35 units
DENSITY	208 DUA (551/2.649 AC)	221.00 DUA (586/2.649 AC)	(+)13 DUA

BUILDING HEIGHT	±292'-6" (mechanical)	±282'-6.5" (mechanical)	(-)9'11"
BUILDING LOT COVERAGE	61.48% (floor 1 & Podium)	61.48% (floor 1 & Podium)	<i>No change</i>
SITE LANDSCAPE COVERAGE	11% (114,311 S.F. / 12,643 S.F.)	12.26% (14,156 S.F./115,395 S.F.)	(+)1.26%
BUILDING SETBACKS			
FRONT (Vista del Lago)	31'-6"	31'-6"	<i>No change</i>
SIDE (E & W)	28'-9" (W), 15'-3 1/2" (E)	27'-7 1/2" (W), 14'-5 1/2" (E)	(-)1'-1 1/2" (W) (-)0'-10" (E)
REVERSE FRONT (Lake)	18'-5"	17'-9" to raised courtyard	(-)0'-8"
VEHICLE PARKING			
Retail	Retail 57.69 (17,309 S.F./300)	Retail 61.70 (18,511 S.F./300)	<i>Standard Set</i>
Restaurant	Restaurant 109.93 (8,245 S.F./75)	Restaurant 77.27 (5,795 S.F./75)	<i>Standard Set</i>
		Restaurant Kitchen 7.66 (2,299 S.F./300)	<i>Standard Set</i>
Dining Patio	Dining Patio 24.39 ((3,959 S.F.-300)/150)	Dining Patio 24.63 ((3,995 S.F.-300)/150)	<i>Standard Set</i>
Studio	Studio 88.00 (88 * 1/unit)	Studio 103.00 (103 * 1/unit)	<i>Standard Set</i>
1-Br	1-Br 370.50 (247 * 1.5/unit)	1-Br 409.50 (273 * 1.5/unit)	<i>Standard Set</i>
2-Br	2-Br 416.00 (208 * 2/unit)	2-Br 412.00 (206 * 2/unit)	<i>Standard Set</i>
3-Br	3-Br 20.00 (8 * 2.5/unit)	3-Br 10.00 (4 * 2.5/unit)	<i>Standard Set</i>
Guest	Guest 110.20 (551 * 0.2/unit)	Guest 117.20 (586 * 0.2/unit)	<i>Standard Set</i>
TOTAL PARKING REQUIRED	1197	1223	(+)26spaces
TOTAL PARKING PROVIDED	1106 (per parking study)	1071 (per parking study)	(-)35 spaces
	<i>90 tandem</i>	<i>108 tandem</i>	(+)18 stalls
	<i>26 compact</i>	<i>16 compact</i>	(-)10 spaces
	<i>23 on-street</i>	<i>23 on-street</i>	<i>No change</i>
BICYCLE PARKING **			
Retail	Retail 4.00 (17,309 S.F./7,500)	Retail 4.00 (18,511 S.F./7,500)	<i>Standard Set</i>
Restaurant	Restaurant 16.49 (8,245 S.F./500)	Restaurant 11.59 (5,795 S.F./500)	<i>Standard Set</i>
Dining Patio	Dining Patio 1.98 (3,959 S.F./2,000)	Dining Patio 2.00 (3,995 S.F./2,000)	<i>Standard Set</i>
Studio	Studio 66.00 (88 * 0.75/unit)	Studio 77.25 (103 * 0.75/unit)	<i>Standard Set</i>
1-Br	1-Br 185.25 (247 * 0.75/unit)	1-Br 204.75 (273 * 0.75/unit)	<i>Standard Set</i>
2-Br	2-Br 156.00 (208 * 0.75/unit)	2-Br 154.50 (206 * 0.75/unit)	<i>Standard Set</i>
3-Br	3-Br 8.00 (8 * 1/unit)	3-Br 4.00 (4 * 1/unit)	<i>Standard Set</i>
Guest	Guest 110.20 (551 * 0.2/unit)	Guest 117.20 (586 * 0.2/unit)	<i>Standard Set</i>
TOTAL BIKE PARKING REQ.	548	580	(+)32 spaces
TOTAL BIKE PARKING PROV.	626	626	<i>No change</i>
** <i>Bicycle Commute Area</i>			

Table 2.1 – PAD Development Standards Table

B. DEVELOPMENT PLAN REVIEW

Aesthetically, the design of the project has not changed. The overall design, including building materials, remains the same. As previously discussed, the overall building height is reduced by ± 10 feet. Other small adjustments have created a slight shift in building setbacks and landscape coverage as illustrated in Table 2.1 above. Additionally, a small area of a ground-level retail elevation has been modified. The requested modifications to the buildings, site plan, and landscape plan are inherently minor and would typically be addressed administratively if not for the requested PAD amendments.

C. USE PERMIT TO ALLOW TANDEM PARKING

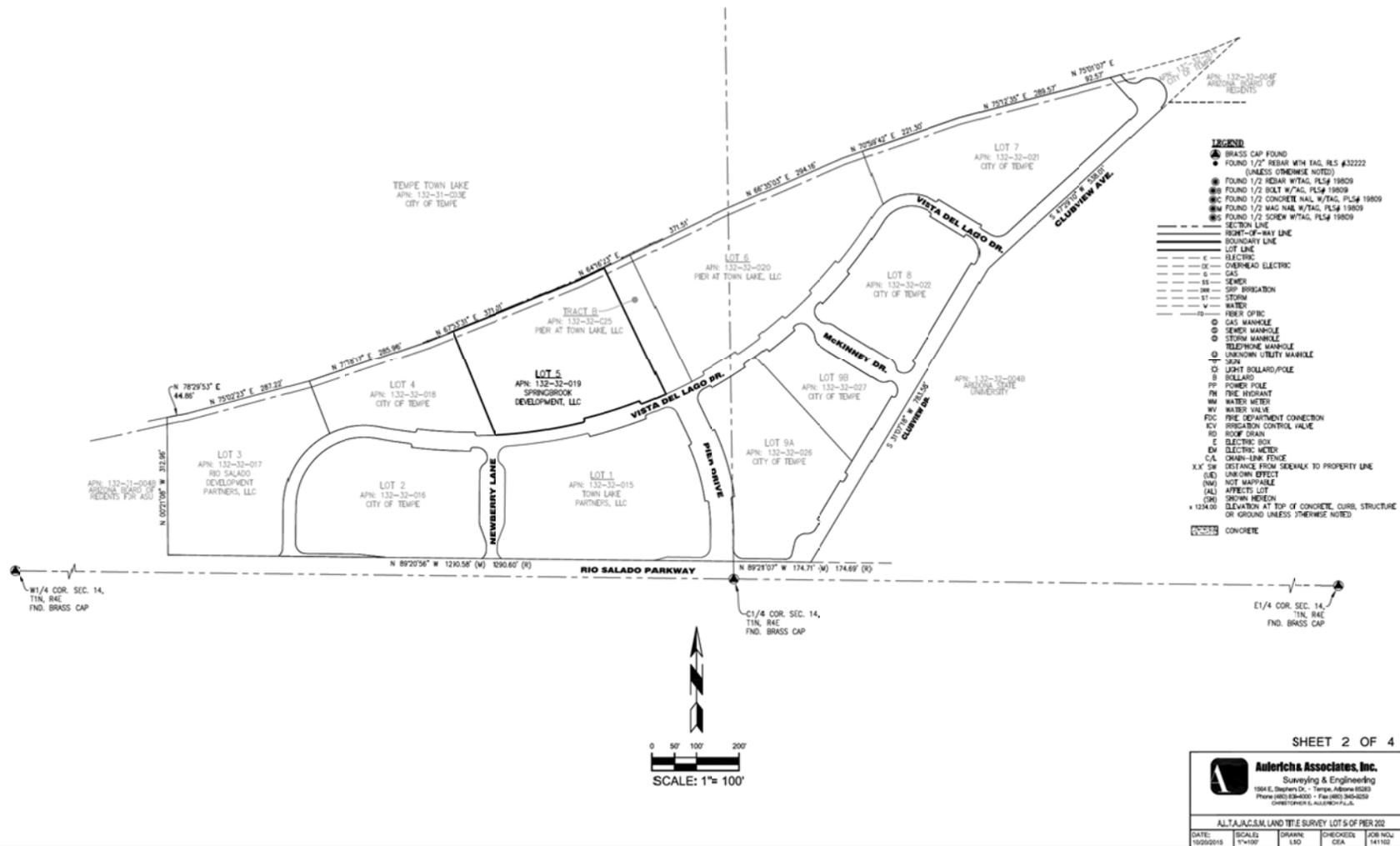
A Use Permit for an increase in tandem parking spaces from 90 residential stalls to 108 residential stalls is requested. Expansion of the number of tandem stalls beyond the original approved amount requires approval of a new Use Permit. The request will increase the number of tandem stalls by 18, for a total of 216 total residential parking spaces (108 standard spaces with 108 tandem spaces in front).

The increase in tandem parking is the result of the garage structural system, column placements, and small increase in residential units. The adjustment to parking is another unavoidable consequence of transitioning from the development design drawings used for entitlement approvals to the more accurate construction documents for permitting and actual construction. As with the original approval, tandem parking is an effective method for maximizing provided parking in an urban infill project. The majority of the tandem spaces will be reserved for residential parking and will be managed by a proprietary software system that assigns the stalls based on specific requests and unit size. A small amount of tandem parking may be used for restaurant valet.

II. CONCLUSION

For the reasons discussed above, Springbrook respectfully requests approval of the Amended PAD, DPR modifications, and updated Use Permit to keep this exciting Lakefront development moving forward.

EXTERIOR BOUNDARY



CONCEPTUAL - NOT FOR CONSTRUCTION

SHEET 2 OF 4

Aulerich Associates, Inc.
Surveying & Engineering
1864 E. Stephen Dr. - Tempe, Arizona 85283
Phone (480) 838-0000 - Fax (480) 345-0259
CHRISTOPHER S. AUERICH P.L.L.C.

ALL T.A.J.C.S.M. LAND TITLE SURVEY LOT 5 OF PIER 202

DATE: 10/09/2015	SCALE: 1"=100'	DRAWN: LSO	CHECKED: CEA	JOB NO: 141102
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ATTACHMENT 4-B1

SECOND AMENDED PLANNED AREA DEVELOPMENT OVERLAY FOR THE PIER

A PORTION OF THE NORTH HALF OF SECTION 14, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA
AND SALT RIVER BASE AND MERIDIAN, COUNTY OF MARICOPA, ARIZONA

RINKA|CHUNG ARCHITECTURE INC.
754 NORTH WASHINGTON AVENUE
MESA, ARIZONA 85201
PH: 480.941.1100
WWW.RINKACHUNG.COM

RINKA|CHUNG ARCHITECTURE INC.

ACKNOWLEDGEMENT

ON THIS _____ DAY OF _____ 20____ BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED ROBERT FRANSWAY OWNER, WHO ACKNOWLEDGED HIMSELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND OFFICIAL SEAL.

BY _____ NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____
SPRINGBROOK DEVELOPMENT, LLC, A WISCONSIN LIMITED LIABILITY COMPANY
BY _____ OWNER _____ DATE _____

OWNER/DEVELOPER

SPRINGBROOK DEVELOPMENT, LLC, 1111 N MISSION PARK BLVD.
CHANDLER, AZ 85224
CONTACT: ROBERT FRANSWAY
(414) 788-6125
ROFRANSWAY@GMAIL.COM

PROJECT DATA

	PAD PROVIDED
GENERAL PLAN LAND USE	MIXED-USE
GENERAL PLAN DENSITY	HIGH DENSITY - URBAN CORE (+055du)
SITE AREA	115,395 S.F. (2.649 AC)
DWELLING QUANTITY	588
DENSITY	221.00 DUA (588/2.649 AC)
BUILDING HEIGHT	±292'-6" (Top of Mechanicals)
BUILDING LOT COVERAGE	61.48% (Footprint at 1st floor & Podium)
SITE LANDSCAPE COVERAGE	12.26% (14,156 S.F./115,395 S.F.)
BUILDING SETBACKS	
FRONT (Vista del Lago)	31'-6" to retail storefront
SIDE EAST	14'-0-1/2" to lower balcony
SIDE WEST	27'-7-1/2" to lower balcony
REVERSE FRONT (Lake frontage)	17'-9" to raised courtyard
VEHICLE PARKING QUANTITY	
TOTAL PARKING REQUIRED	
Retail (18,511 S.F./300)	61.70
Restaurant (8,094 S.F./75)	107.92
Dining Patio (3,995 S.F./2,000)	24.63
Studio (102 * 1.5unit)	153.00
1-BR (273 * 1.5unit)	409.50
2-BR (206 * 2.0unit)	412.00
3-BR (4 * 2.0unit)	10.00
Guest (565 * 0.2unit)	117.20
TOTAL PARKING REQUIRED	1,248
TOTAL PARKING PROVIDED	
Standard Parking Stall (Min. 6'0" W x 18'0" D)	800
Tandem Parking Stall	216
Compact Parking Stall	16
Handicap Accessible Parking Stall (Includes Van Accessible)	22
Drop-Off Stall	6
Street Angle Parking Stall	17
TOTAL PARKING PROVIDED	1,077
MOTORCYCLE/SCOOTER PARKING	
TOTAL PROVIDED	33
BICYCLE PARKING QUANTITY**	
Retail (18,511 S.F./7,500-4 MIN)	4.00
Restaurant (8,094 S.F./500)	16.19
Dining Patio (3,995 S.F./2,000)	2.00
Studio (102 * 0.2unit)	77.25
1-BR (273 * 0.75unit)	204.75
2-BR (206 * 0.75unit)	154.50
3-BR (4 * 1unit)	4.00
Guest (565 * 0.2unit)	117.20
TOTAL BIKE PARKING REQ.	580
TOTAL BIKE PARKING PROV.	626
** Bicycle Commute Area	
USES	
Retail (18,511 S.F.)	
Restaurant (8,094 S.F.)	
Residential (588 units)	
Use Permits Required	(216) tandem parking spaces for residential and/or restaurant valet (T&O)

SITE VICINITY MAP



REC16148

PL160248

DS150687

CONDITIONS OF APPROVAL: PL150426

- A building permit application shall be made within two years of the date of City Council approval or the zoning of the property may revert to that in place at the time of application. Any reversion is subject to a public hearing process as a zoning map amendment.
- The property owner shall sign a waiver of rights and remedies form. By signing the form, the Owner voluntarily waives any right to claim compensation for diminution of Property value under A.R.S. § 12-1134 that may now or in the future exist, as a result of the City's approval of this Application, including any conditions, stipulations and/or modifications imposed as a condition of approval. The signed form shall be submitted to the Community Development Department no later than 30 days from the date of City Council approval or the PAD approval shall be null and void.
- The Planned Area Development Overlay for The Pier shall be put into proper engineered format with appropriate signature blanks and kept on file with the City of Tempe's Community Development Department within sixty (60) days of the date of City Council approval.
- New construction shall be sound mitigated resulting with indoor noise levels not to exceed a day night-level (DNL) of 45 decibels.
- The applicant shall apply for the abandonment of the existing Vista Del Lago right-of-way currently used for public parking. The abandonment will be completed in accordance with its usual procedures, for the sale of the abandoned ROW to the developer to be incorporated into Lot 5 via an amendment to the existing plat, before building permits may be issued.
- Parking spaces on the south side street-front are to be maintained as public parking spaces, not restricted. A permanent recorded public access easement and maintenance agreement for these parking spaces shall be recorded concurrently with the deed conveying title to the right of way.
- The developer shall obtain a certificate of occupancy prior to the conveyance of the right of way.
- Should the applicant be unable to secure written approval from all utility providers for the proposed Public Utility Easement to be located within the airspace of the garage, or reach an alternative solution acceptable to Engineering Staff, prior to submittal of plans for construction document review, the existing Public Utility Easement will be separated physically from the garage within soil within the first 9' from the property line north with a soil depth to be determined by Engineering staff but no greater than the depth of one basement parking floor level. This solution, or any other design solution approved by Engineering Staff, may remove up to 40 parking spaces on the south side of the lot, as needed to meet the PUE requirements, thereby reducing the overall required parking.
- The proposed service elevator and refuse storage room portion of phase two lower shall be constructed as part of phase one. If phase two does not occur, the service core will need to be designed aesthetically and functionally without the second tower.
- Phase one structure shall be designed with infrastructure and space to accommodate a solid waste compactor, in the event that after operations commence waste collection warrants a different solution.
- An amended Subdivision Plat is required for this development and shall be recorded prior to issuance of building permits.
- The Subdivision Plat shall be put into proper engineered format with appropriate signature blanks and recorded with the Maricopa County Recorder's Office through the City of Tempe's Community Development Department no later than one year from the date of City Council approval. Failure to record the plat within one year of City Council approval shall make the plat null and void.
- All property owners shall be set and verified with staff upon final recordation of the subdivision plat, no later than three (3) months from the date of County recordation or as determined by staff.
- A parking affidavit shall be filed with the Community Development Department for the use of shared parking supported by the parking analysis. If any proposed change or intensification of uses requires additional parking greater than proposed, a revised parking model shall be submitted.
- The property owner, at the completion of the development construction, shall bear the cost of any necessary street pavement improvements resulting from construction traffic in the area.

FORMAL SITE PLAN REVIEW SUBMITTAL

The PIER

NOT FOR CONSTRUCTION

RCA Project No. 150407.01
Sheet Title

PAD COVER SHEET

Sheet No. T1-01

LEGAL DESCRIPTION

NEW LOT 5
A PORTION OF LOT 5 AND VISTA DEL LAGO DRIVE, PIER 202, SECOND AMENDED, AS RECORDED IN BOOK 1052, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 5 SAID POINT BEING ON A CIRCLE THE CENTER OF WHICH BEARS NORTH 24° 04' 11" WEST, A DISTANCE OF 1086.50 FEET, AND IS THE NORTH LINE OF THE AFOREMENTIONED VISTA DEL LAGO DRIVE;

THENCE, ALONG THE AFOREMENTIONED NORTH LINE OF VISTA DEL LAGO DRIVE THROUGH A CURVED ANGLE OF 21° 12' 41", A DISTANCE OF 402.23 FEET TO THE SOUTHWEST CORNER OF SAID LOT 5;

THENCE, NORTH 21° 57' 28" WEST ALONG THE SOUTH LINE OF SAID LOT 5, A DISTANCE OF 257.12 FEET TO THE NORTHWEST CORNER OF SAID LOT 5;

THENCE, NORTH 67° 53' 31" EAST ALONG THE NORTH LINE OF SAID LOT 5, A DISTANCE OF 308.44 FEET;

THENCE, CONTINUING ALONG THE NORTH LINE OF SAID LOT 5 NORTH 64° 16' 29" EAST, A DISTANCE OF 66.23 FEET TO THE NORTHEAST CORNER OF SAID LOT 5;

THENCE, SOUTH 29° 42' 05" EAST ALONG THE EAST LINE OF SAID LOT 5, A DISTANCE OF 257.20 FEET TO THE POINT OF BEGINNING.

DESCRIBED PROPERTY BEING IN AND FORMING A PART OF THE CITY OF TEMPE AND COMPRISING AN AREA OF 115,395 SQUARE FEET, OR 2.649 ACRES, MORE OR LESS.

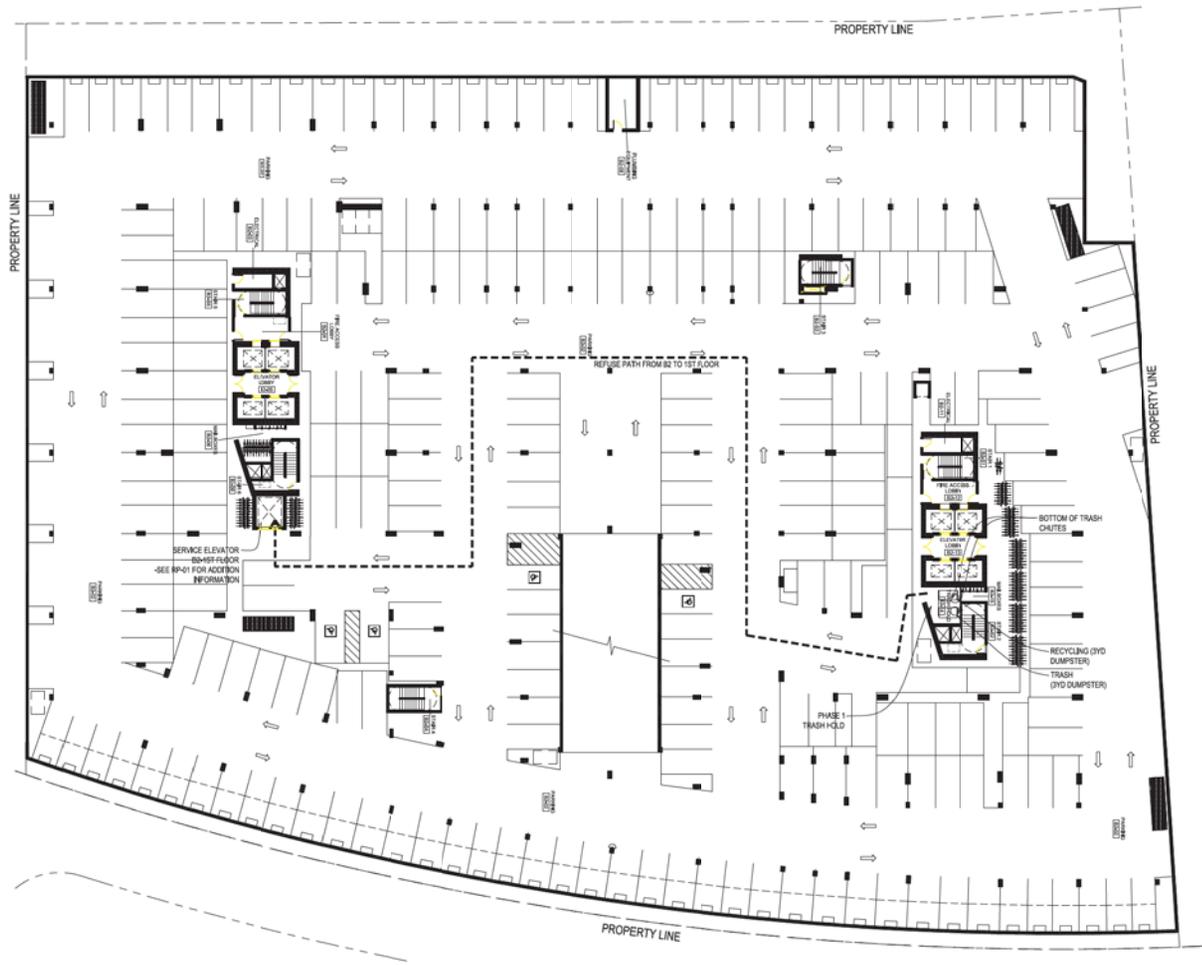
APPROVAL

APPROVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF TEMPE ON THIS 28TH DAY OF JANUARY, 2016

DS150687

PL160248

REC16148



1 B2 REFUSE DIAGRAM
1" = 20'



CONCEPTUAL - NOT FOR CONSTRUCTION

RCA Project No. 150407.01
Sheet Title

**B2 REFUSE
DIAGRAM**

The PIER

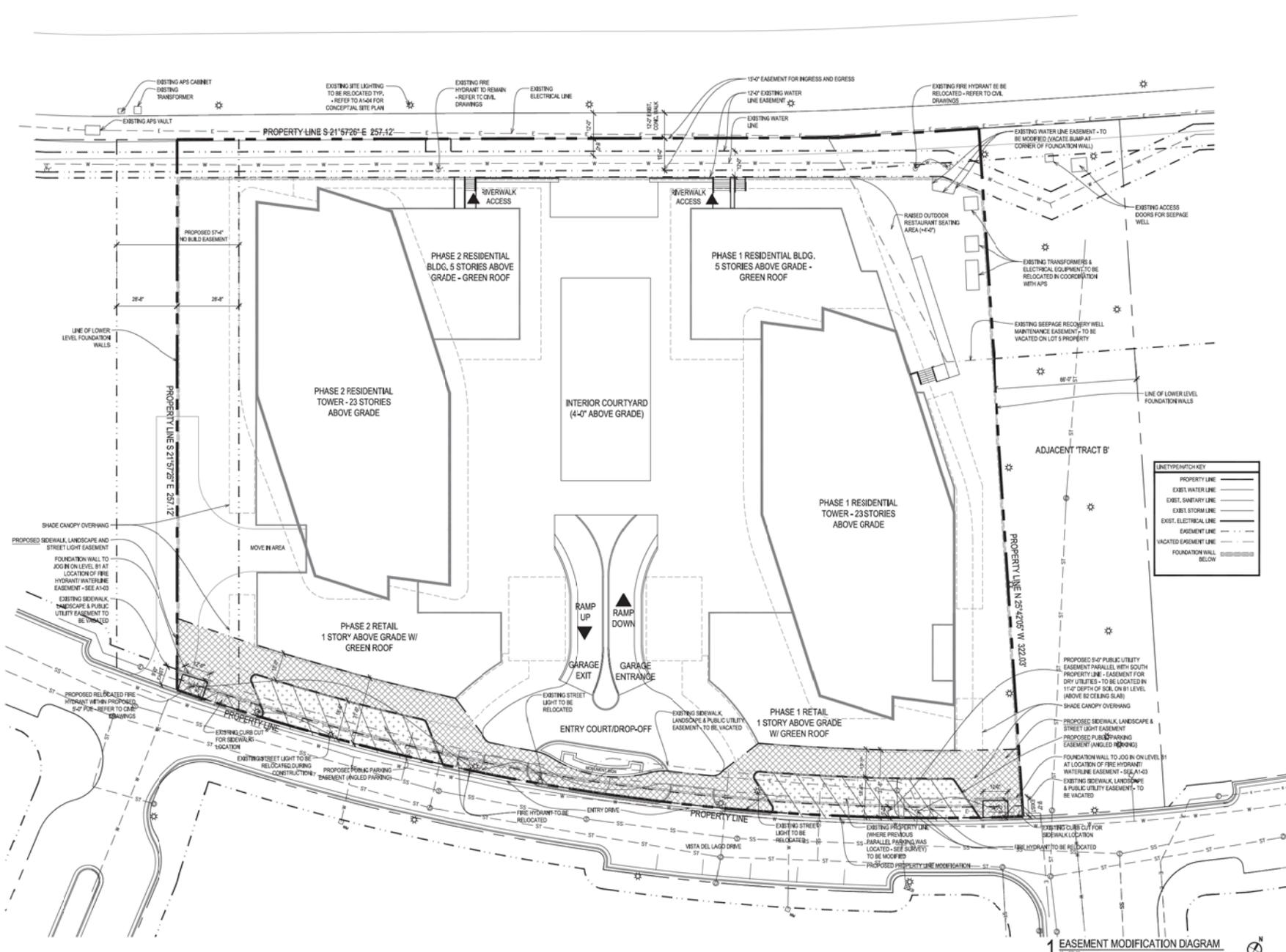
LOT 5
APN: 319-32-019
TEMPE ARIZONA, 85281
Issue Date - JULY 5TH, 2016

Sheet No.

RP-02

RINKA|CHUNG ARCHITECTURE, INC.
754 NORTH MARICOPA, WEST VALLEY, AZ 85221
PHOENIX AZ 85001

RINKA|CHUNG
RINKA|CHUNG ARCHITECTURE, INC.



LINE/TYPE/KEY

---	PROPERTY LINE
- - - -	EXIST. WATER LINE
- - - -	EXIST. SANITARY LINE
- - - -	EXIST. STORM LINE
- - - -	EXIST. ELECTRICAL LINE
- - - -	EASEMENT LINE
- - - -	VACATED EASEMENT LINE
- - - -	FOUNDATION WALL BELOW

CONCEPTUAL - NOT FOR CONSTRUCTION

RINKA|CHUNG ARCHITECTURE, INC.
 754 NORTH WASHINGTON AVENUE
 SUITE 1000
 PHOENIX, ARIZONA 85001
 PHONE: 602.441.0101

RINKA|CHUNG
 RINKA|CHUNG ARCHITECTURE, INC.

The PIER
 LOT 5
 APN: 319-32-019
 TEMPE, ARIZONA, 85281
 Issue Date: JULY 5TH, 2016

RCA Project No. 150407.01
 Sheet Title
EASEMENT MODIFICATION DIAGRAM
 Sheet No. **EM-01**

MATERIAL IDENTIFICATION	
COLOR CONCRETE WITH HEAVY SANDBLAST FINISH	
COLOR CONCRETE WITH LIGHT SANDBLAST FINISH	
STANDARD COLOR CONCRETE	
COLOR CONCRETE WITH EXPOSED AGGREGATE	
VEHICULAR PAVEMENT AREA	
SECURED SOIL REINFORCEMENT SUITABLE FOR FIRE TRUCK ACCESS	
VEHICULAR PAVEMENT AREA	
MORTAR JOINT TYPE	
LINEAR STONE PAVING TO MATCH BUILDING STONE	
LINEAR PAVERS AT TERRACES	
WATER	
LANDSCAPE AREA - REFER TO LANDSCAPE PLANS	

1190 E VISTA DEL LAGO DRIVE
TEMPE AZ 85281

Issue Date 8/16/2016

RCA Project No. 15049.01
Sheet Title
CONCEPT SITE PLAN

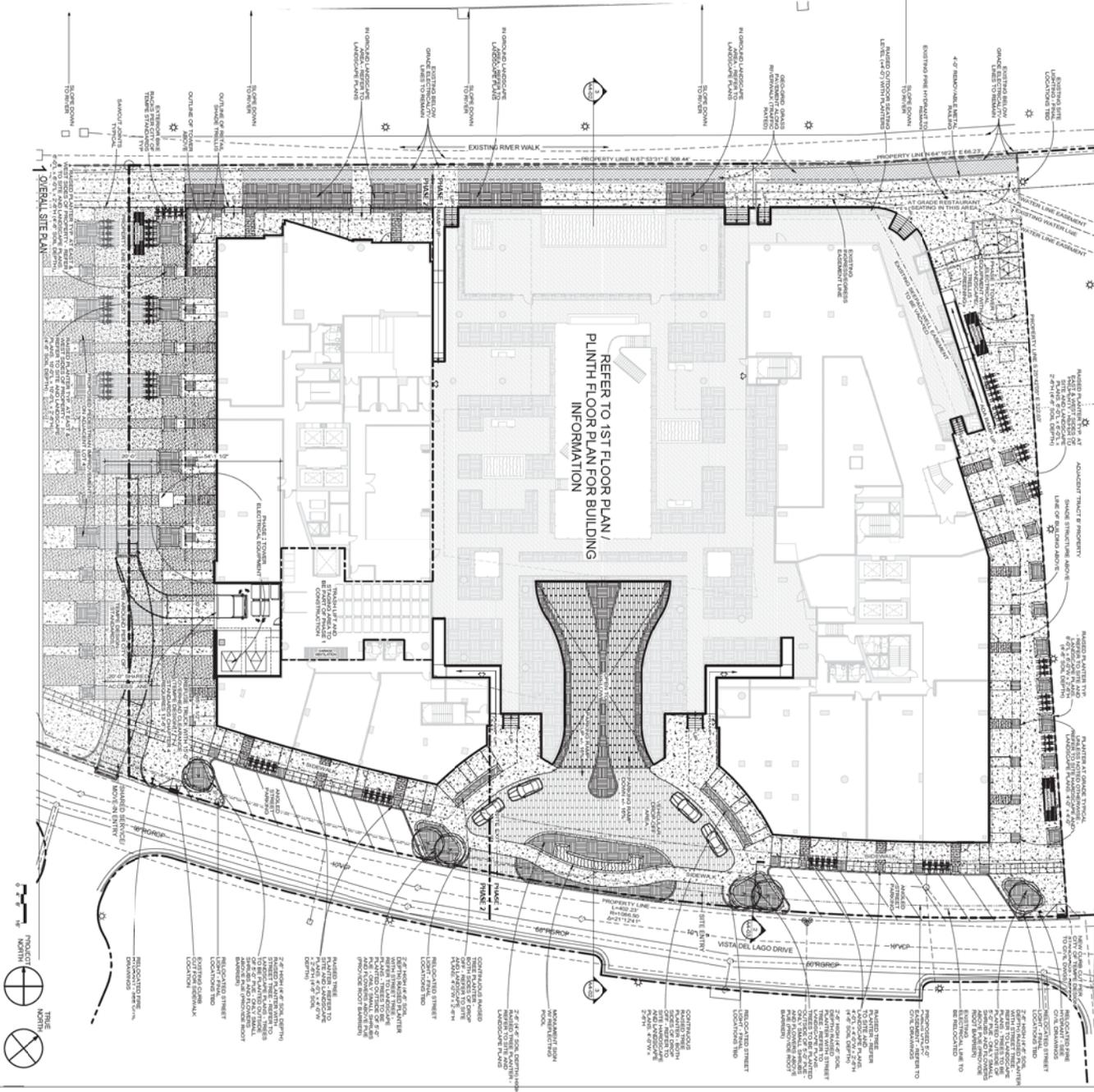
Sheet No. **A1-00**

NOT FOR CONSTRUCTION

SCOPE CONSTRUCTION DOCUMENT SET

THE PIER

△ Retainer



FLOOR PLAN SYMBOL IDENTIFICATION			
STRUCTURAL GRIDLINE REFERENCE	NUMBER OF LETTER OR GRID LINE	CEILING HEIGHT REFERENCE	CEILING ASSEMBLY TYPE - REFER TO SHEET A0-01 CEILING HEIGHT
STRUCTURAL WALL/FLOOR ASSEMBLY	STRUCTURAL WALL/FLOOR - REFER TO STRUCTURAL DWGS	DETAIL REFERENCE	DRAWING NUMBER SHEET NUMBER
FINISH FLOOR ELEVATION HEIGHT TAG	F.F. ELEV. XXX.XX" - ELEVATION IN FEET/INCHES	SECTION REFERENCE	DRAWING NUMBER SHEET NUMBER
ROOM REFERENCE	Room # - ROOM NAME 101 - ROOM NUMBER	WINDOW TYPE TAG	DRAWING NUMBER SHEET NUMBER
NEW DOOR	DOOR TAG - REFER TO SHEET A0-02	ELEVATION REFERENCE	DRAWING NUMBER SHEET NUMBER
ARCHITECTURAL WALL ASSEMBLY / PARTITION TYPE REFERENCE	PARTITION TYPE - REFER TO SHEET A0-01 ARCHITECTURAL WALL	FIRE EXTINGUISHER	TYPE
APARTMENT UNIT NUMBER (SEQUENTIAL)	UNIT TYPE A = 1 BEDROOM B = 2 BEDROOM C = 3 BEDROOM S = STUDIO		

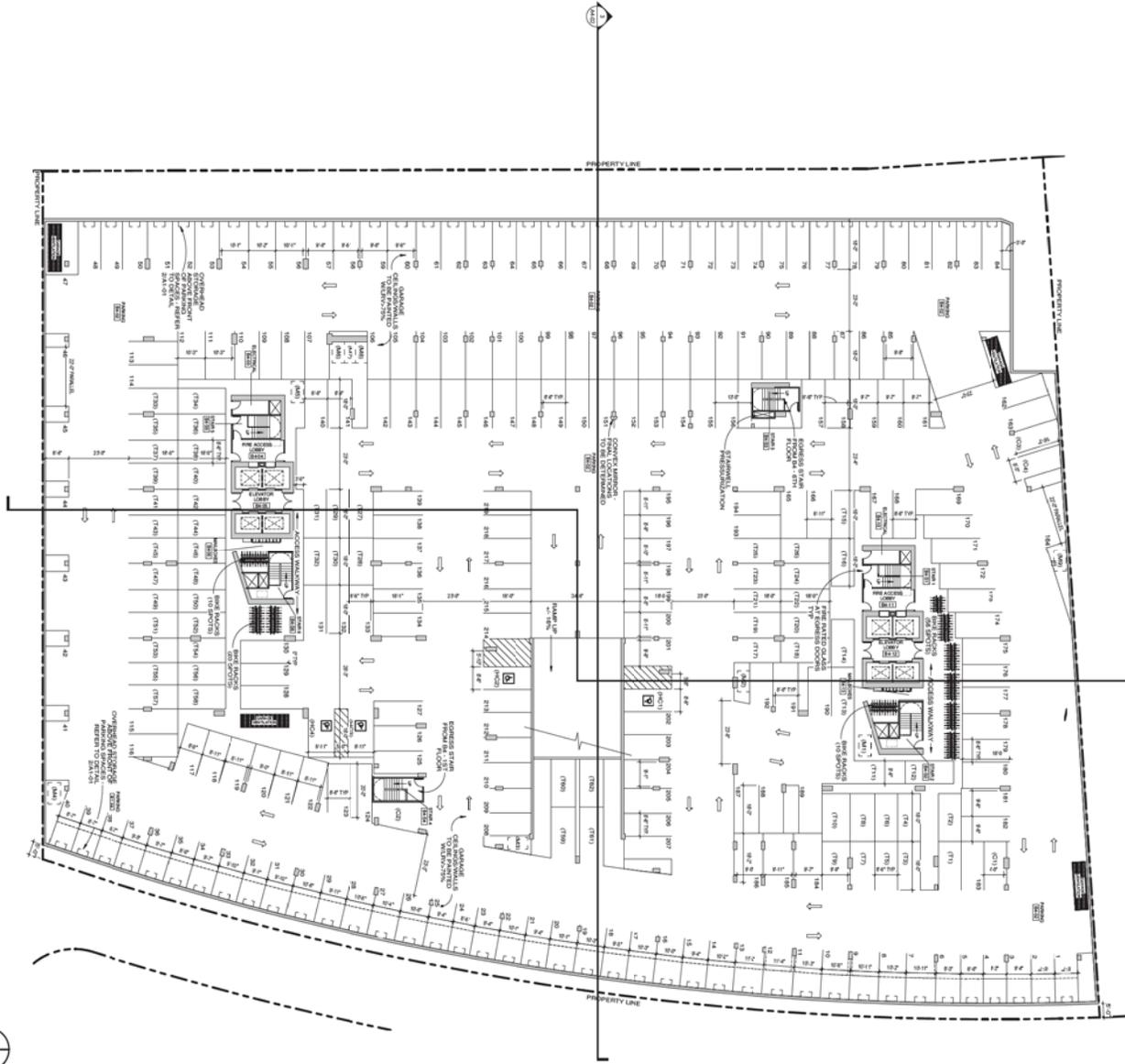
MATERIAL IDENTIFICATION			
COLOR CONCRETE WITH HEAVY SANDBLEST FINISH	VEHICULAR PAVEMENT AREA	MORTAR JOINT TYP	
COLOR CONCRETE WITH LIGHT SANDBLEST FINISH	LINEAR STONE PAVERS TO MATCH BUILDING STONE		
STANDARD COLOR CONCRETE	LINEAR PAVERS AT TERRACES		
COLOR CONCRETE WITH EXPOSED AGGREGATE	WATER		
VEHICULAR PAVEMENT AREA	LANDSCAPE AREA - REFER TO LANDSCAPE PLANS		
GEOTECH SOIL REINFORCEMENT SUITABLE FOR FIRE TRUCK ACCESS			

SITE PLAN REVIEW GENERAL NOTE:
ALL PARKING SPACES TO BE A MINIMUM OF 8'-6" X 18'-0" PER CITY OF TEMPE DESIGN STANDARDS CHAPTER 4 UNLESS NOTED OTHERWISE
(C) = COMPACT STALL
(T) = TANDEM STALL
(M) = MOTORCYCLE/SCOOTER
(HC) = HANDICAP SPACE
(VAN) = HANDICAP VAN SPACE

B4 PARKING COUNTS
219 STANDARD PARKING SPACES
62 TANDEM SPACES
4 COMPACT SPACES
4 HANDICAP SPACES
9 MOTORCYCLE/SCOOTER SPACES
96 BIKE PARKING SPACES

ENTIRE BELOW GRADE PARKING GARAGE TO BE PART OF PHASE 1 CONSTRUCTION

OVERALL FLOOR PLAN



NOT FOR CONSTRUCTION

SCOPE CONSTRUCTION DOCUMENT SET

THE PIER

1190 E VISTA DEL LAGO DRIVE
TEMPE AZ 85281
Issue Date 8/16/2016

RCA Project No: 15047.01
Sheet Title: B4 FLOOR PLAN

Sheet No. A1-01

FLOOR PLAN SYMBOL IDENTIFICATION	
STRUCTURAL GRIDLINE REFERENCE 	CEILING HEIGHT REFERENCE
STRUCTURAL WALL/FLOOR ASSEMBLY 	DETAIL REFERENCE
FINISH FLOOR ELEVATION HEIGHT TAG 	SECTION REFERENCE
ROOM REFERENCE 	WINDOW TYPE TAG
NEW DOOR 	ELEVATION REFERENCE
ARCHITECTURAL WALL ASSEMBLY / PARTITION TYPE REFERENCE 	FIRE EXTINGUISHER REFERENCE
APARTMENT UNIT NUMBER 	

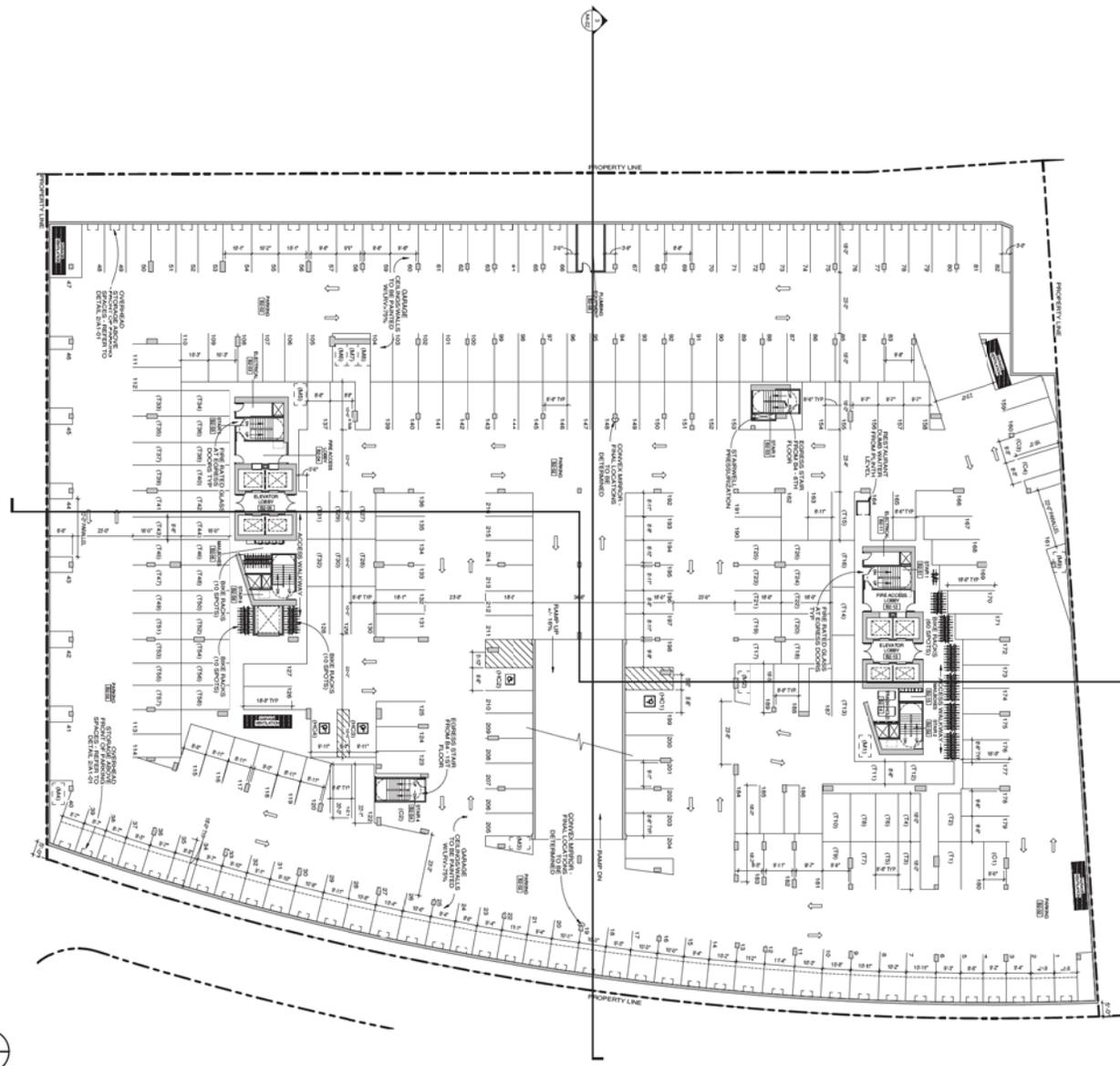
MATERIAL IDENTIFICATION	
COLOR CONCRETE WITH HEAVY SANDBLEST FINISH 	VEHICULAR PAVEMENT AREA
COLOR CONCRETE WITH LIGHT SANDBLEST FINISH 	MORTAR JOINT TYP
STANDARD COLOR CONCRETE 	LINEAR STONE PAVERS TO MATCH BUILDING STONE
COLOR CONCRETE WITH EXPOSED AGGREGATE 	LINEAR PAVERS AT TERRACES
VEHICULAR PAVEMENT AREA 	WATER
GEOTECH SOIL REINFORCEMENT SUITABLE FOR FIRE TRUCK ACCESS 	LANDSCAPE AREA - REFER TO LANDSCAPE PLANS

SITE PLAN REVIEW GENERAL NOTE:
ALL PARKING SPACES TO BE A MINIMUM OF 8'-6" X 18'-0" PER CITY OF TEMPE DESIGN STANDARDS CHAPTER 4 UNLESS NOTED OTHERWISE
(C) = COMPACT STALL
(T) = TANDEM STALL
(M) = MOTORCYCLE/SCOOTER
(HC) = HANDICAP SPACE
(VAN) = HANDICAP VAN SPACE

B2 PARKING COUNTS
216 STANDARD PARKING SPACES
58 TANDEM SPACES
4 COMPACT SPACES
4 HANDICAP SPACES
9 MOTORCYCLE/SCOOTER SPACES
90 BIKE PARKING SPACES

ENTIRE BELOW GRADE PARKING GARAGE TO BE PART OF PHASE 1 CONSTRUCTION

OVERALL B2 FLOOR PLAN



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TEMPE AZ 85281
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RCA Project No: 15047.01
Sheet Title
B2 FLOOR PLAN

Sheet No. A1-03

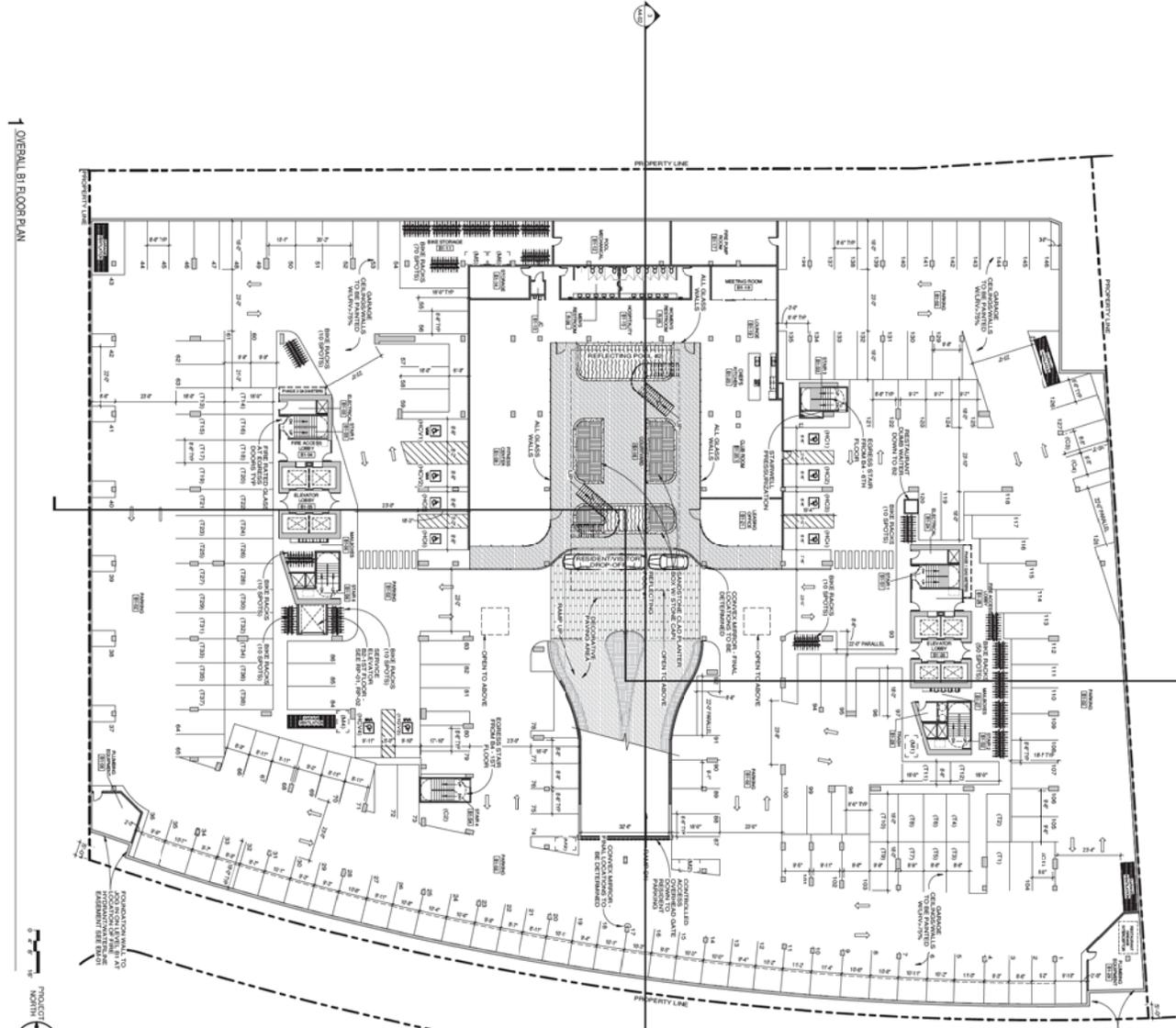
FLOOR PLAN SYMBOL IDENTIFICATION			
STRUCTURAL GRIDLINE REFERENCE	NUMBER OF LETTER GRID LINE	CEILING HEIGHT REFERENCE	CEILING ASSEMBLY TYPE - REFER TO SHEET A3-01 CEILING HEIGHT
STRUCTURAL WALL/FLOOR ASSEMBLY	STRUCTURAL WALL/FLOOR - REFER TO STRUCTURAL DWGS	DETAIL REFERENCE	DRAWING NUMBER SHEET NUMBER
FINISH FLOOR ELEVATION HEIGHT TAG	F.F. ELEV. XXX'XX"	SECTION REFERENCE	DRAWING NUMBER SHEET NUMBER
ROOM REFERENCE	Room Name Room Number	WINDOW TYPE TAG	DRAWING NUMBER SHEET NUMBER
NEW DOOR	DOOR TAG - REFER TO SHEET A3-02	ELEVATION REFERENCE	DRAWING NUMBER SHEET NUMBER
ARCHITECTURAL WALL ASSEMBLY / PARTITION TYPE REFERENCE	PARTITION TYPE - REFER TO SHEET A3-01 ARCHITECTURAL WALL	FIRE EXTINGUISHER	TYPE
APARTMENT UNIT NUMBER	UNIT TYPE UNIT NUMBER (SEQUENTIAL)	FIRE EXTINGUISHER & CABINET	TYPE

MATERIAL IDENTIFICATION			
COLOR CONCRETE WITH HEAVY SANDBLEST FINISH	VEHICULAR PAVEMENT AREA	MORTAR JOINT TYP	
COLOR CONCRETE WITH LIGHT SANDBLEST FINISH	LINEAR STONE PAVEMENT TO MATCH BUILDING'S ONE	LANDSCAPE AREA - REFER TO LANDSCAPE PLANS	
STANDARD COLOR CONCRETE	WATER		
COLOR CONCRETE WITH EXPOSED AGGREGATE	LANDSCAPE AREA - REFER TO LANDSCAPE PLANS		
VEHICULAR PAVEMENT AREA			
GEOTECH SOIL REINFORCEMENT STABLE FOR FIRE TRUCK ACCESS			

SITE PLAN REVIEW GENERAL NOTE:
ALL PARKING SPACES TO BE A MINIMUM OF 8'-6" X 18'-0" PER CITY OF TEMPE DESIGN STANDARDS CHAPTER 4 UNLESS NOTED OTHERWISE
(C) = COMPACT STALL
(T) = TANDEM STALL
(M) = MOTORCYCLE/SCOOTER
(HC) = HANDICAP SPACE
(VAN) = HANDICAP VAN SPACE

B1 PARKING COUNTS
146 STANDARD PARKING SPACES
38 TANDEM SPACES
4 COMPACT SPACES
6 HANDICAP SPACES
4 HANDICAP VAN SPACES
2 DROP-OFF SPACES
6 MOTORCYCLE/SCOOTER SPACES
180 BIKE PARKING SPACES

ENTIRE BELOW GRADE PARKING GARAGE TO BE PART OF PHASE 1 CONSTRUCTION



GENERAL B1 FLOOR PLAN



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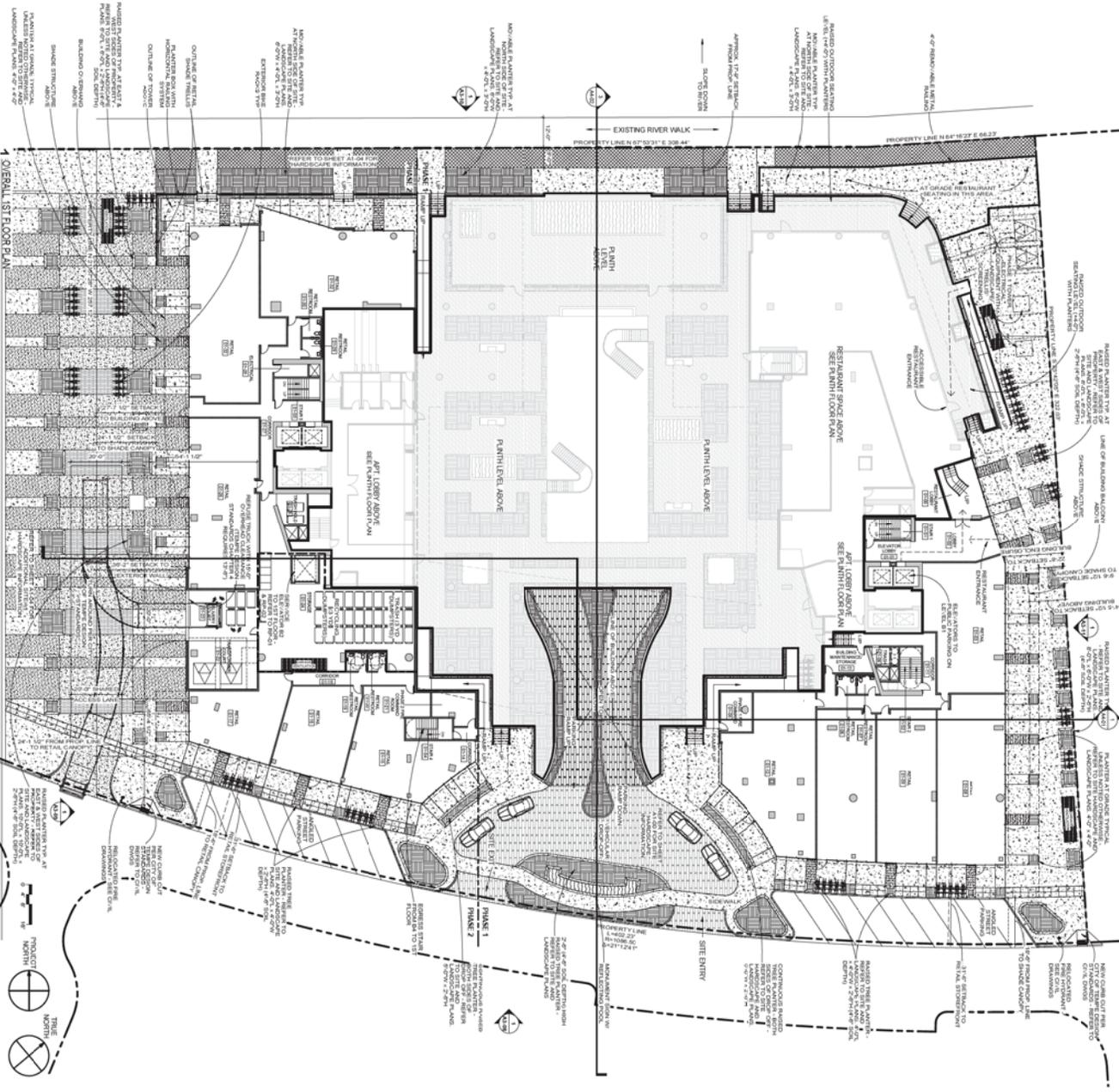
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Issue Date 8/16/2016

RCA Project No: 15047.01
Sheet Title
B1 FLOOR PLAN

Sheet No. A1-04



FLOOR PLAN SYMBOL IDENTIFICATION			
STRUCTURAL GRIDLINE REFERENCE	NUMBER OF LETTER GRID LINE	CEILING HEIGHT REFERENCE	CEILING ASSEMBLY TYPE - REFER TO SHEET AD-01 CEILING HEIGHT
STRUCTURAL WALL/FLOOR ASSEMBLY	STRUCTURAL WALL/FLOOR ASSEMBLY TO STRUCTURAL DWGS	DETAIL REFERENCE	DRAWING NUMBER SHEET NUMBER
FINISH FLOOR ELEVATION TAG	F.F. ELEV. XXX.XX"	SECTION REFERENCE	DRAWING NUMBER SHEET NUMBER
ROOM REFERENCE	ROOM NAME ROOM NUMBER	WINDOW TYPE TAG	DRAWING NUMBER SHEET NUMBER
NEW DOOR	DOOR TAG - REFS TO SHEET AD-02	ELEVATION REFERENCE	DRAWING NUMBER SHEET NUMBER
ARCHITECTURAL WALL ASSEMBLY REFERENCE	PARTITION TYPE REFER TO SHEET AD-01 ARCHITECTURAL WALL	FIRE EXTINGUISHER REF + FIRE EXTINGUISHER & CABINET FIRE EXTINGUISHER & BRACKET	DRAWING NUMBER SHEET NUMBER
APARTMENT UNIT NUMBER	UNIT TYPE UNIT NUMBER SEQUENTIAL	UNIT TYPE A = 1 BEDROOM B = 2 BEDROOM C = 3 BEDROOM S = STUDIO	

MATERIAL IDENTIFICATION	
COLOR CONCRETE WITH HEAVY SAND/BLAST FINISH	VEHICULAR PAVEMENT AREA MORTAR JOINT TYP
COLOR CONCRETE WITH LIGHT SAND/BLAST FINISH	LINEAR STONE PAVERS TO MATCH BUILDINGSTONE
STANDARD COLOR CONCRETE	LINEAR PAVERS AT TERRACES
COLOR CONCRETE WITH EXPOSED AGGREGATE	WATER
VEHICULAR PAVEMENT AREA	LANDSCAPE AREA - REFER TO LANDSCAPE PLANS
GEORGIO SOIL REINFORCEMENT MATERIAL FOR FIRE TRUCK ACCESS	

1ST FLOOR/SITE PARKING COUNTS
 17 ON-STREET ANGLED PARKING SPACES
 4 DROP-OFF PARKING SPACES
 160 BIKE PARKING SPACES

RINKAICHUNG
 RINKAICHUNG ARCHITECTURE INC.
1100 E VISTA DEL LAGO DRIVE
TEMPE AZ 85281

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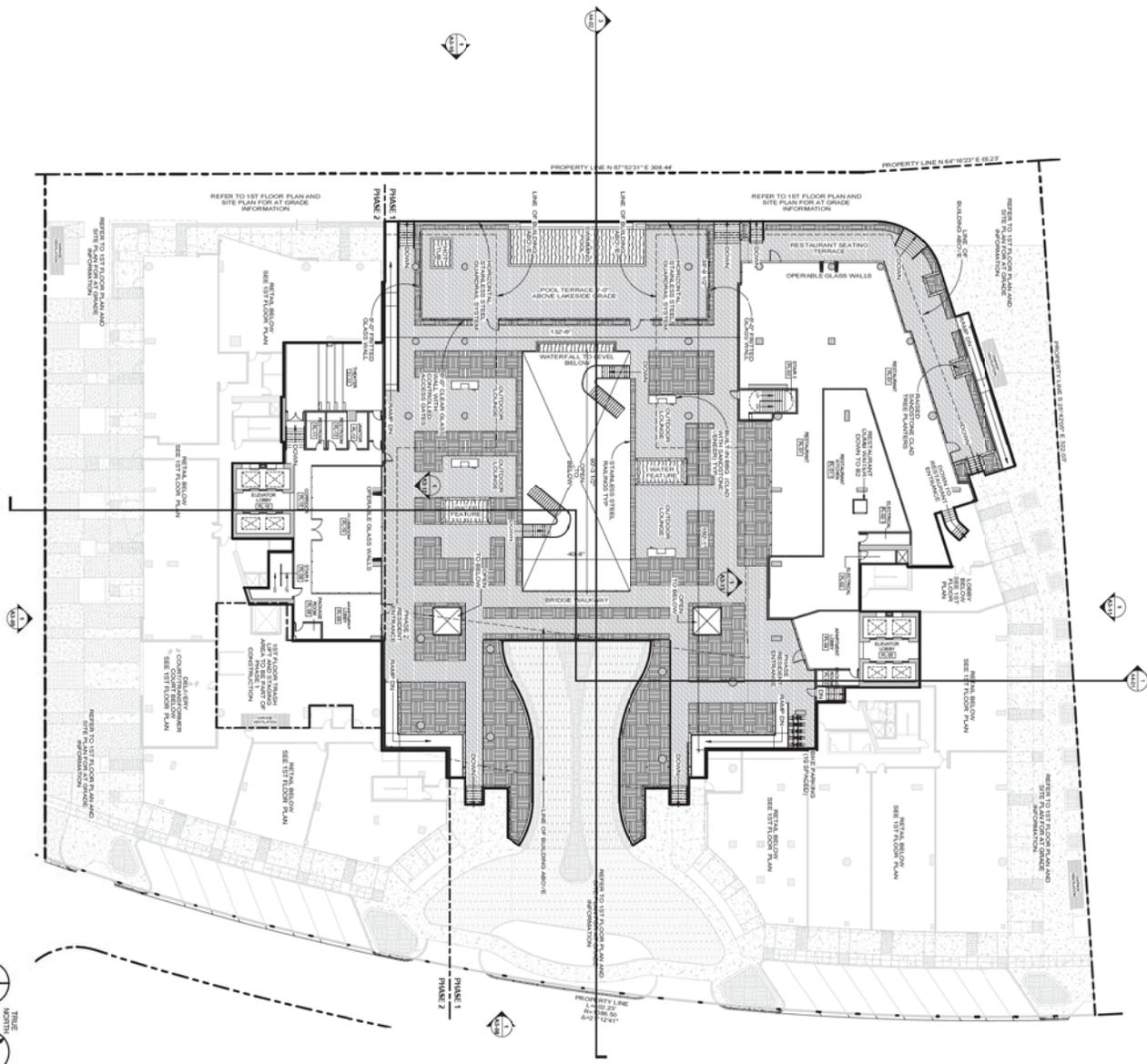
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RCA Project No. 15049-01
 Sheet Title
1ST FLOOR PLAN

Sheet No. **A1-05**

1 OVERALL PLINTH LEVEL PLAN



FLOOR PLAN SYMBOL IDENTIFICATION

STRUCTURAL GRIDLINE REFERENCE	NUMBER OF LETTER GRID LINE	CEILING HEIGHT REFERENCE	CEILING ASSEMBLY TYPE - REFER TO SHEET A3-01 CEILING HEIGHT
STRUCTURAL WALL/FLOOR ASSEMBLY	STRUCTURAL WALL/FLOOR - REFER TO STRUCTURAL DWGS	DETAIL REFERENCE	DRAWING NUMBER SHEET NUMBER
FINISH FLOOR ELEVATION HEIGHT TAG	F.F. ELEV. XXX.XX" - ELEVATION IN FEET/INCHES	SECTION REFERENCE	DRAWING NUMBER SHEET NUMBER
ROOM REFERENCE	ROOM NAME - ROOM NUMBER 101 - ROOM NUMBER	WINDOW TYPE TAG	DRAWING NUMBER SHEET NUMBER
NEW DOOR	DOOR TAG - REFER TO SHEET A3-02	ELEVATION REFERENCE	DRAWING NUMBER SHEET NUMBER
ARCHITECTURAL WALL ASSEMBLY / PARTITION TYPE REFERENCE	PARTITION TYPE - REFER TO SHEET A3-01 ARCHITECTURAL WALL	FIRE EXTINGUISHER	TYPE
APARTMENT UNIT NUMBER	UNIT TYPE A = 1 BEDROOM B = 2 BEDROOM C = 3 BEDROOM S = STUDIO		

MATERIAL IDENTIFICATION

COLOR CONCRETE WITH HEAVY SAND/BLAST FINISH	VEHICULAR PAVEMENT AREA	MORTAR JOINT TYP
COLOR CONCRETE WITH LIGHT SAND/BLAST FINISH	LANDSCAPE PAVEMENT TO MATCH BUILDINGSTONE	
STANDARD COLOR CONCRETE	LANDSCAPE PAVEMENT AT TERRACES	
COLOR CONCRETE WITH EXPOSED AGGREGATE	WATER	
VEHICULAR PAVEMENT AREA	LANDSCAPE AREA - REFER TO LANDSCAPE PLANS	
GEORGIO SOIL REINFORCEMENT MATERIAL FOR FIRE TRUCK ACCESS		

PLINTH LEVEL PARKING COUNTS
10 BIKE PARKING SPACES

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RCA Project No. 15049.01
Sheet Title
PLINTH LEVEL PLAN

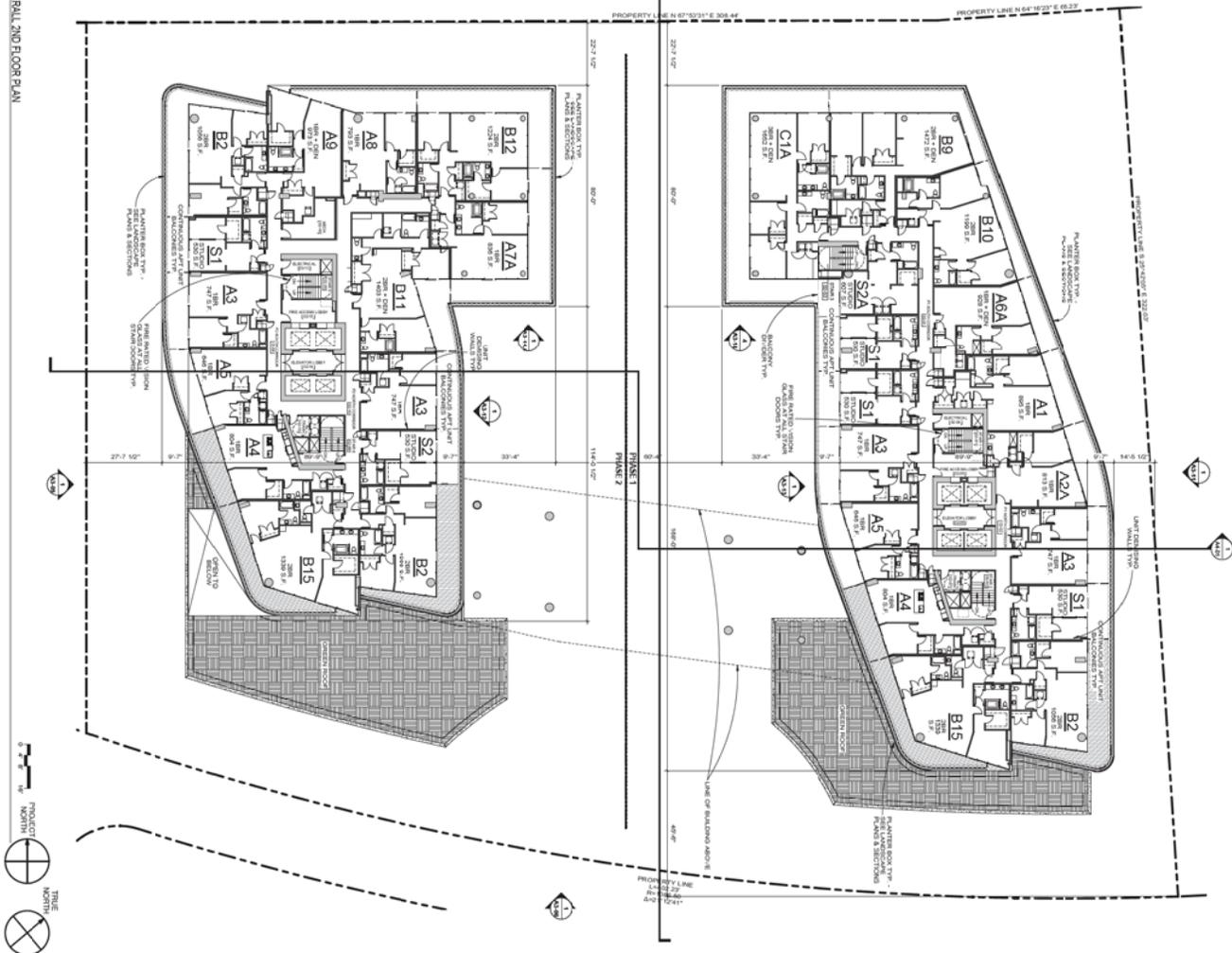
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RINKAICHUNG
RINKAICHUNG ARCHITECTURE INC.

FLOOR PLAN SYMBOL IDENTIFICATION			
STRUCTURAL GRIDLINE REFERENCE	NUMBER OF LETTER GRID LINE	CEILING HEIGHT REFERENCE	CEILING ASSEMBLY TYPE - REFER TO SHEET AD-01 CEILING HEIGHT
STRUCTURAL WALL/FLOOR ASSEMBLY	STRUCTURAL WALL/FLOOR - REFER TO STRUCTURAL DWGS	DETAIL REFERENCE	DRAWING NUMBER SHEET NUMBER
FINISH FLOOR ELEVATION HEIGHT TAG	F.F. ELEV. XXX.XX"	SECTION REFERENCE	DRAWING NUMBER SHEET NUMBER
ROOM REFERENCE	Room Name - ROOM NAME 101 - ROOM NUMBER	WINDOW TYPE TAG	DRAWING NUMBER SHEET NUMBER
NEW DOOR	DOOR TAG - REFER TO SHEET AD-02	ELEVATION REFERENCE	DRAWING NUMBER SHEET NUMBER
ARCHITECTURAL WALL ASSEMBLY / PARTITION TYPE REFERENCE	PARTITION TYPE - REFER TO SHEET AD-01 ARCHITECTURAL WALL	FIRE EXTINGUISHER	TYPE
APARTMENT UNIT NUMBER	UNIT TYPE A = 1 BEDROOM B = 2 BEDROOM C = 3 BEDROOM S = STUDIO		

MATERIAL IDENTIFICATION			
COLOR CONCRETE WITH HEAVY SAND/BLST F FINISH	VENECULAR PAVER AREA	MORTAR JOINT TYP	
COLOR CONCRETE WITH LIGHT SAND/BLST F FINISH	LINEAR STONE PAVERS TO MATCH BUILDING STONE		
STANDARD COLOR CONCRETE	LINEAR PAVERS AT TERRACES		
COLOR CONCRETE WITH EXPOSED AGGREGATE	WATER		
VENECULAR PAVER AREA	LANDSCAPE AREA - REFER TO LANDSCAPE PLANS		
GEORGIO SOIL REINFORCEMENT MATERIAL FOR FIRE TRUCK ACCESS			

OVERALL 2ND FLOOR PLAN



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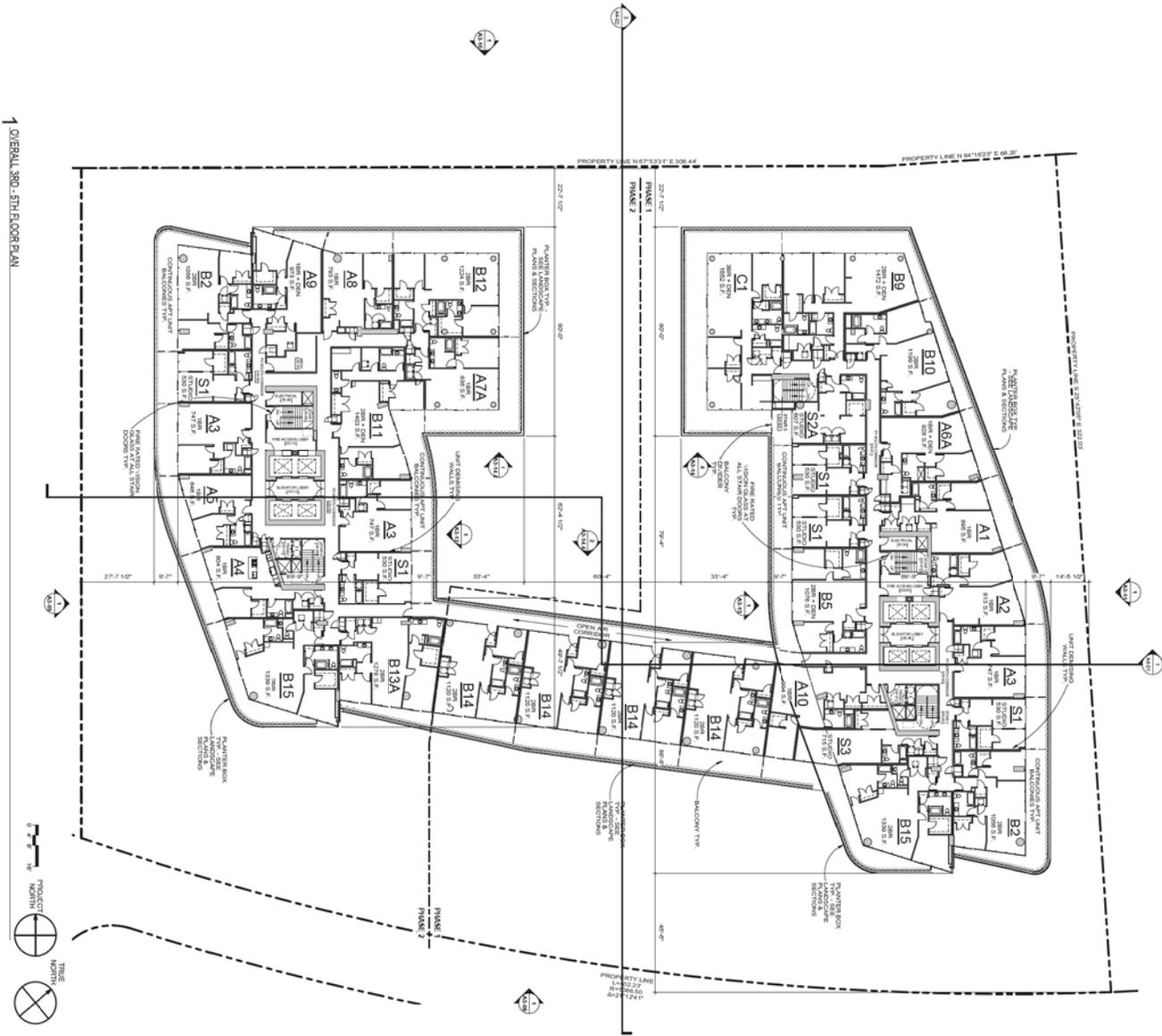
RCA Project No. 15049.01
Sheet Title

2ND FLOOR
PLAN

Sheet No. A1-07

FLOOR PLAN SYMBOL IDENTIFICATION			
STRUCTURAL GRIDLINE REFERENCE	NUMBER OF LETTER GRID LINE	CEILING HEIGHT REFERENCE	CEILING ASSEMBLY TYPE - REFER TO SHEET A0-01 CEILING HEIGHT
STRUCTURAL WALL/FLOOR ASSEMBLY	STRUCTURAL WALL/FLOOR - REFER TO STRUCTURAL DWGS	DETAIL REFERENCE	DRAWING NUMBER SHEET NUMBER
FINISH FLOOR ELEVATION HEIGHT TAG	F.F. ELEV. XXX.XX" - ELEVATION IN FEET/INCHES	SECTION REFERENCE	DRAWING NUMBER SHEET NUMBER
ROOM REFERENCE	ROOM NAME - ROOM NUMBER R01 - ROOM NUMBER	WINDOW TYPE TAG	DRAWING NUMBER SHEET NUMBER
NEW DOOR	DOOR TAG - REFS TO SHEET A0-02	ELEVATION REFERENCE	DRAWING NUMBER SHEET NUMBER
ARCHITECTURAL WALL ASSEMBLY / PARTITION TYPE REFERENCE	PARTITION TYPE - REFER TO SHEET A0-01 ARCHITECTURAL WALL	FIRE EXTINGUISHER	TYPE
APARTMENT UNIT NUMBER	UNIT TYPE NUMBER (SEQUENTIAL)	APARTMENT UNIT NUMBER	UNIT TYPE A = 1 BEDROOM B = 2 BEDROOM C = 3 BEDROOM S = STUDIO

MATERIAL IDENTIFICATION			
COLOR CONCRETE WITH HEAVY SAND/BLAST FINISH	VEHICULAR PAVEMENT AREA	MORTAR JOINT TYP	
COLOR CONCRETE WITH LIGHT SAND/BLAST FINISH	LINEAR STONE PAVERS TO MATCH BUILDING STONE	LINEAR PAVERS AT TERRACES	
STANDARD COLOR CONCRETE	WATER	LANDSCAPE AREA - REFER TO LANDSCAPE PLANS	
COLOR CONCRETE WITH EXPOSED AGGREGATE	VEHICULAR PAVEMENT AREA		
VEHICULAR PAVEMENT AREA			
GEORGIO SOIL REINFORCEMENT MATERIAL FOR FIRE TRUCK ACCESS			



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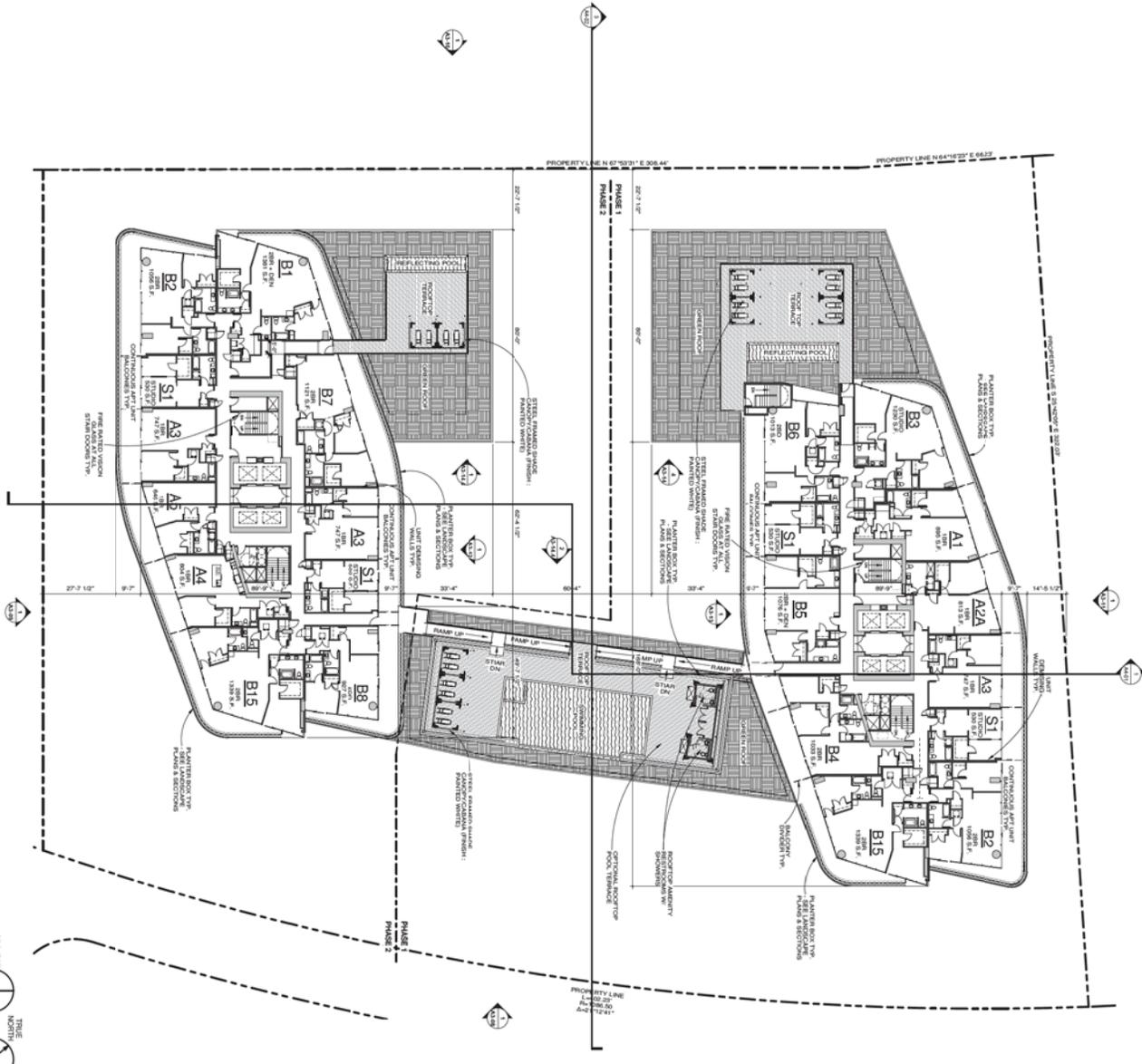
RCA Project No. 15047-01

Sheet Title

3RD-5TH FLOOR PLAN

Sheet No. A1-08

1 OVERALL 6TH FLOOR PLAN



FLOOR PLAN SYMBOL IDENTIFICATION			
STRUCTURAL GRIDLINE REFERENCE	NUMBER OF LETTER OR GRID LINE	CEILING HEIGHT REFERENCE	CEILING ASSEMBLY TYPE - REFER TO SHEET A3-01 CEILING HEIGHT
STRUCTURAL WALL/FLOOR ASSEMBLY	STRUCTURAL WALL/FLOOR - REFER TO STRUCTURAL DWGS	DETAIL REFERENCE	DRAWING NUMBER SHEET NUMBER
FINISH FLOOR ELEVATION HEIGHT TAG	ELEVATION IN FEET/INCHES	SECTION REFERENCE	DRAWING NUMBER SHEET NUMBER
ROOM REFERENCE	ROOM NAME - ROOM NUMBER 101 - ROOM NUMBER	WINDOW TYPE TAG	DRAWING NUMBER SHEET NUMBER
NEW DOOR	DOOR TAG - REFER TO SHEET A3-02	ELEVATION REFERENCE	DRAWING NUMBER SHEET NUMBER
ARCHITECTURAL WALL ASSEMBLY / PARTITION TYPE REFERENCE	PARTITION TYPE - REFER TO SHEET A3-01 ARCHITECTURAL WALL	FIRE EXTINGUISHER	TYPE TYPE
APARTMENT UNIT NUMBER	UNIT TYPE UNIT NUMBER (SEQUENTIAL)		
MATERIAL IDENTIFICATION			
COLOR CONCRETE WITH HEAVY SAND/BLAST FINISH		VENUELAR PAVEMENT AREA	
COLOR CONCRETE WITH LIGHT SAND/BLAST FINISH		MORTAR JOINT TYP	
STANDARD COLOR CONCRETE		LINEAR STONE PAVERS TO MATCH BUILDING STONE	
COLOR CONCRETE WITH EXPOSED AGGREGATE		LINEAR PAVERS AT TERRACES	
VENUELAR PAVEMENT AREA		WATER	
GEORGIO SOIL REINFORCEMENT SATISFIED FOR FIRE TRUCK ACCESS		LANDSCAPE AREA - REFER TO LANDSCAPE PLANS	



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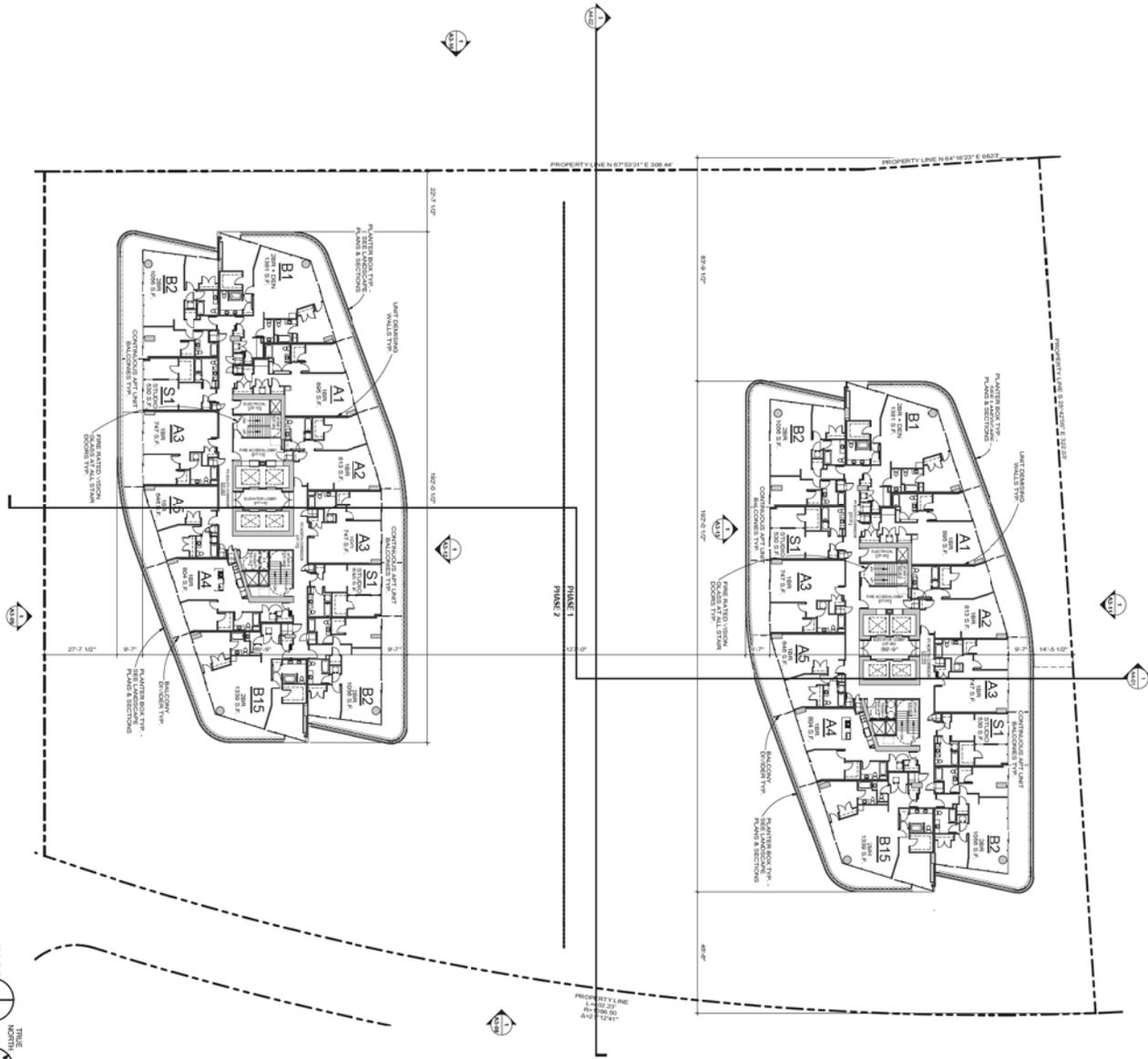
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RCA Project No: 15047.01
Sheet Title
6TH FLOOR PLAN

Sheet No. A1-09

RINKAICHUNG
RINKAICHUNG ARCHITECTURE INC.

1 OVERALL 7TH-24TH FLOOR PLAN



FLOOR PLAN SYMBOL IDENTIFICATION			
STRUCTURAL GRIDLINE REFERENCE	NUMBER OF LETTER GRID LINE	CEILING HEIGHT REFERENCE	CEILING ASSEMBLY TYPE - REFER TO SHEET A0-01 CEILING HEIGHT
STRUCTURAL WALL/FLOOR ASSEMBLY	STRUCTURAL WALL/FLOOR ASSEMBLY REFERS TO STRUCTURAL DWGS	DETAIL REFERENCE	DRAWING NUMBER SHEET NUMBER
FINISH FLOOR ELEVATION HEIGHT TAG	F.F. ELEV. XXX.XX" ELEVATION IN FEET/INCHES	SECTION REFERENCE	DRAWING NUMBER SHEET NUMBER
ROOM REFERENCE	Room Name - ROOM NAME 001 - ROOM NUMBER	WINDOW TYPE TAG	DRAWING NUMBER SHEET NUMBER
NEW DOOR	DOOR TAG - REFS TO SHEET A0-02	ELEVATION REFERENCE	DRAWING NUMBER SHEET NUMBER
ARCHITECTURAL WALL ASSEMBLY / PARTITION TYPE REFERENCE	PARTITION TYPE REFER TO SHEET A0-01 ARCHITECTURAL WALL	FIRE EXTINGUISHER REF + FIRE EXTINGUISHER & CABINET FEC FIRE EXTINGUISHER & BRACKET	TYPE
APARTMENT UNIT NUMBER	UNIT TYPE S1		
MATERIAL IDENTIFICATION			
COLOR CONCRETE WITH HEAVY SAND/BLAST F FINISH		VEHICULAR PAVEMENT AREA	
COLOR CONCRETE WITH LIGHT SAND/BLAST F FINISH		MORTAR JOINT TYP	
STANDARD COLOR CONCRETE		LINEAR STONE PAVERS TO MATCH BUILDING STONE	
COLOR CONCRETE WITH EXPOSED AGGREGATE		LINEAR PAVERS AT TERRACES	
VEHICULAR PAVEMENT AREA		WATER	
GEOTECH SOIL REINFORCEMENT MATERIAL FOR FIRE TRUCK ACCESS		LANDSCAPE AREA - REFER TO LANDSCAPE PLANS	

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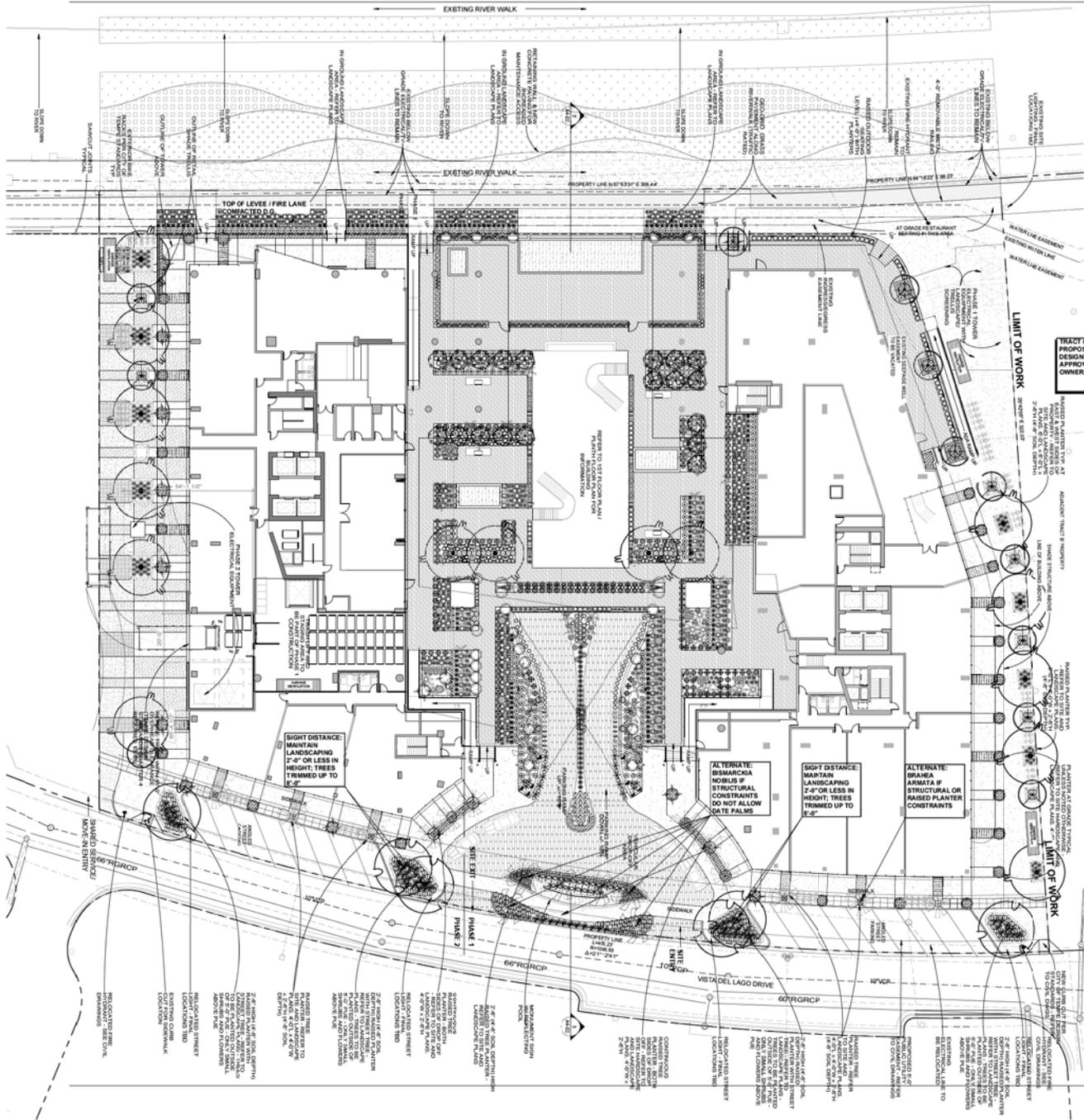
1190 E VISTA DEL LAJO DRIVE
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Issue Date 8/16/2016

RCA Project No. 15049.01
Sheet Title
7TH-24TH FLOOR PLAN

Sheet No. A1-10

DATE: 8/16/2016
TIME: 10:00 AM
PROJECT: THE PIER

RINKAICHUNG
RINMACHING ARCHITECTURE INC.



1ST FLOOR LANDSCAPE LEGEND SEE L17 FOR MASTER LANDSCAPE LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	QTY.
TREES			
RISTADA RED PUSH	RED PUSH	4"Ø BOX	6
FICUS BENJAMINA	WEeping FIG	24"Ø BOX	15
PROSOPIA VELUTINA	NATIVE MESQUITE	24"Ø BOX	-
CORDIA BOISSIERI	TEXAS OLIVE	24"Ø BOX	12
TRACHYCARPUS FORTUNEI	WINDMILL PALM	24"Ø BOX	-
PHOENIX DACTYLIFERA	MEDJOO, HYBRID DATE PALM	15" CLR	11
CYCAS REVOLUTA	SAGO PALM	APICAL MERI STEM	106
SYAGRUS ROMANOFFIANUM	QUEEN PALM	12" CLR	11

GROUNDCOVERS AND SHRUBS (MAX. 2'-0" @ MATURITY)			
ALOE VERA	ALOE VERA	1 GALLON	712
ASPARAGUS DENSIFLORUS	MYERS ASPARAGUS	1 GALLON	174
ARTEMESIA LUDOVICIANA	WHITE SAGE	1 GALLON	87
ARTEMESIA GRACILIS	FRENCH TARRAGON	1 GALLON	96
CARISSA GRANDIFLORA	NATAL PLUM BOXWOOD	1 GALLON	194
CARISSA GRANDIFLORA	BEAUTY	1 GALLON	146
CARISSA GRANDIFLORA	NATAL PLUM	1 GALLON	80
CURPEA HYSORPOLIA	MEXICAN HEATHER	1 GALLON	49
IRIS HYBRIDA	BEARDED IRIS	1 GALLON	134
LYCORIS RADATA	SPIDER LILLY	1 GALLON	204
PORTULACARIA AFRA	ELEPHANT FOOT	1 GALLON	37
VIOLA COORATA	SWEET VIOLE	1 GALLON	221
WEDELIA BIFLORA	MELANTHERA	1 GALLON	-
ZEPHYRANTHE CANDIDA	RAIN LILY	1 GALLON	125

SHRUBS (MAX. 3'-0" @ MATURITY)			
CYMBOPOGON CITRATUS	LEMONGRASS	1 GALLON	394
YUCCA WHIPPLEI	OUR LORDS CANDLE	1 GALLON	46

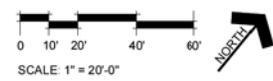
LARGE SHRUBS (+3'-0')			
BISELIA ALBA	MALABAR SPINACH	1 GALLON	14
HESPERALOE PARVIFLORA	RED YUCCA	1 GALLON	70
PHYLLOSTACHYS AUREA	GOLDEN BAMBOO	1 GALLON	30
PLUMA CALIFLORA	JABUTICABA	1 GALLON	19

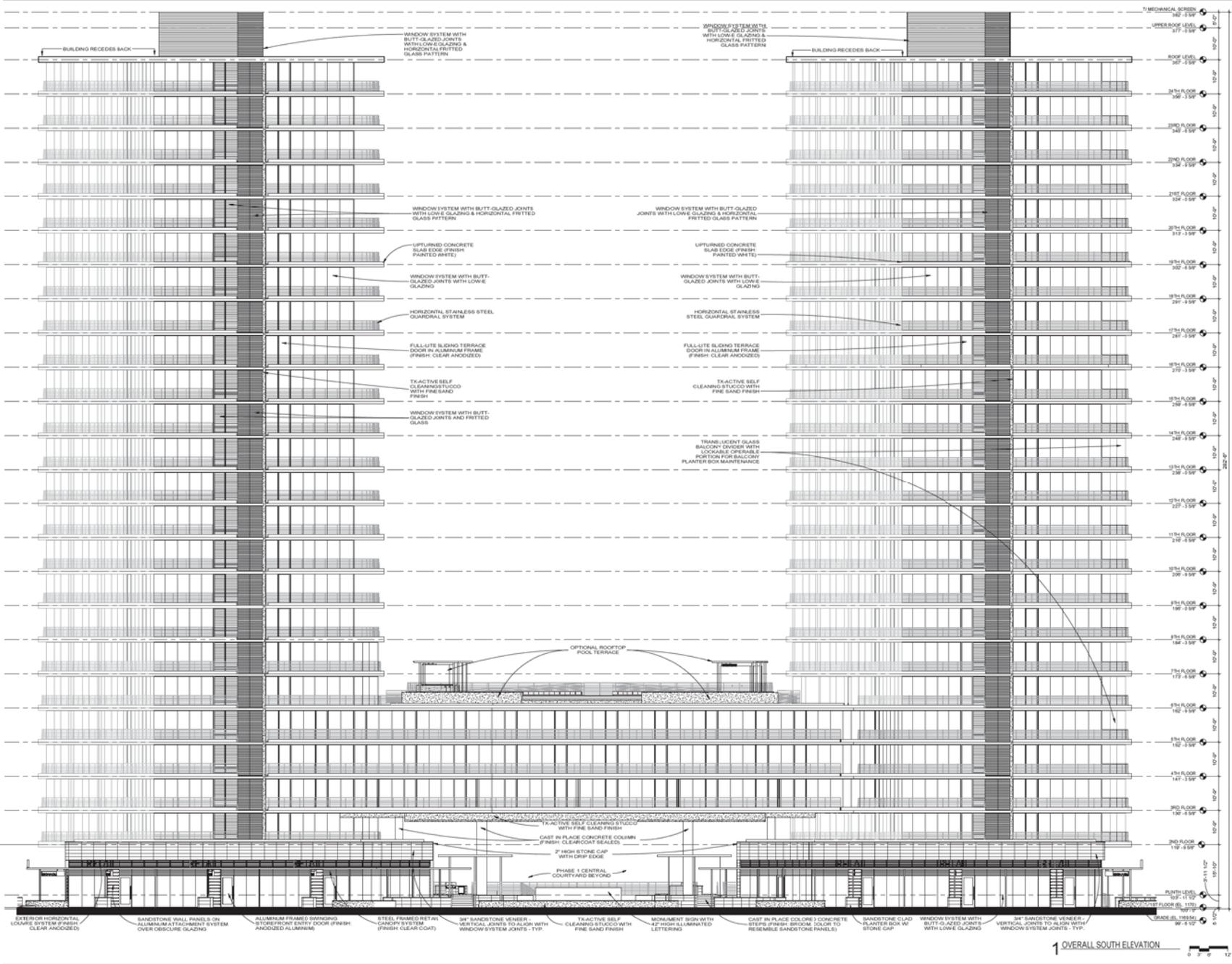
VINES			
BOUGAINVILLEA SPP.	BOUGAINVILLEA	1 GALLON	20
JACARANDA OFFICINALIS	JACARANDA	1 GALLON	65
TRACHELOSPERMUM	STAR JASMINE	1 GALLON	15
JASMINODES	LADY BANKS ROSE	1 GALLON	-
ROSA BANKSIAE			41

ANNUALS			
TAETTES ERECTA	AMERICAN MARIGOLD	1 GALLON	1,047 S.F.
VIOLA TRICOLOR SUBSP. TRICOLOR	PANSY	1 GALLON	-

TOWN LAKE LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	QTY.
MUHLENBERGIA CAPILLARIS	REGAL MIST	5 GALLON	4,378.02 S.F. / 486
MUHLENBERGIA RIGIDA	NASHVILLE	5 GALLON	4,096.0 S.F. / 1,520
TURF - AS SPECIFIED BY PARKS AND REC.		500	8,000.14 S.F.





1190 E VISTA DEL LAGO DRIVE
TEMPE AZ 85281

Issue Date 04/20/16

RCA Project No. 15047.01

Sheet Title
SOUTH ELEVATION

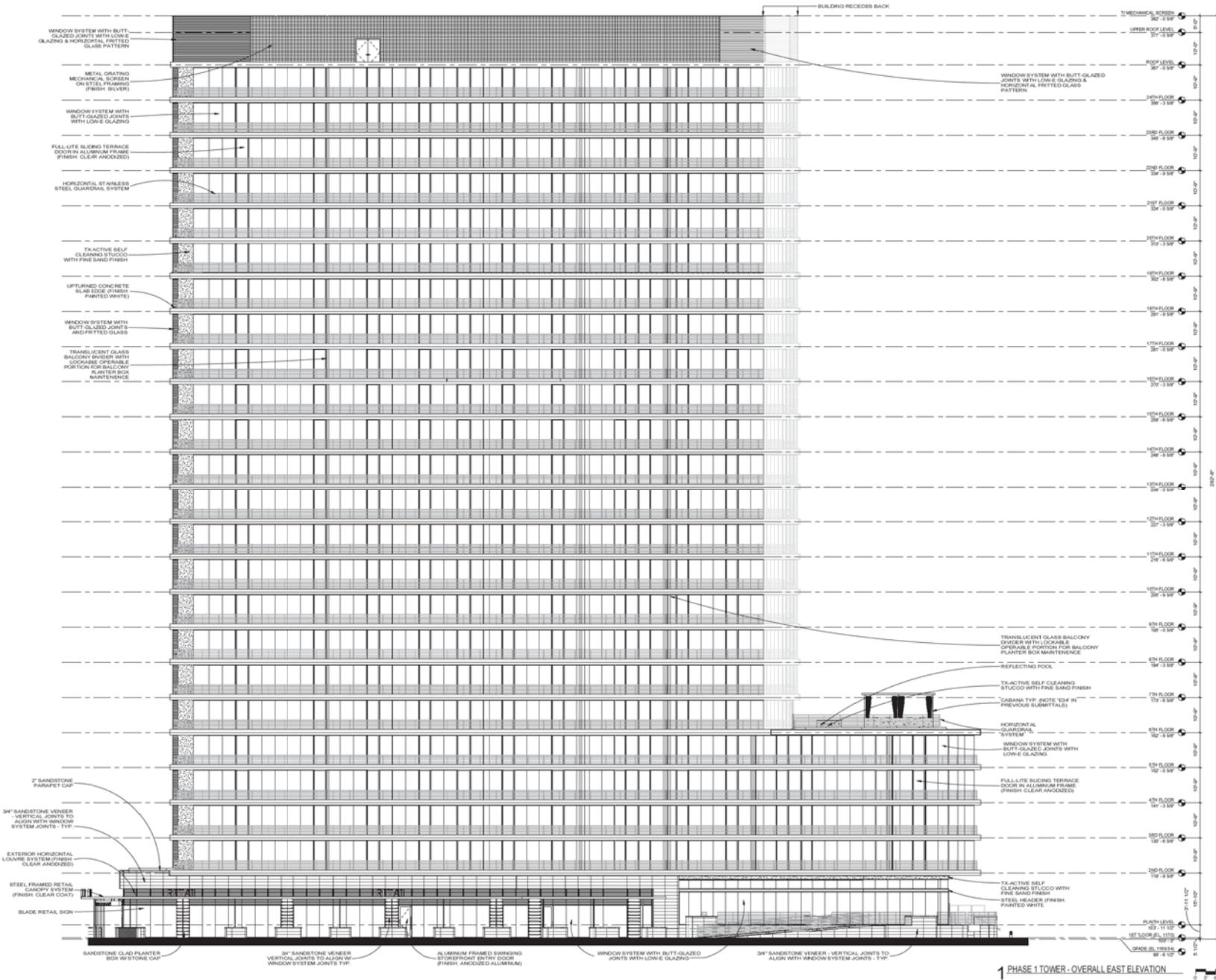
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SCOPE CONSTRUCTION DOCUMENT SET

THE PIER

KEY PLAN



KEY PLAN

SCOPE CONSTRUCTION DOCUMENT SET

THE PIER

1190 E VISTA DEL LAGO DRIVE
TEMPE AZ 85281
Issue Date 8/16/2016

RCA Project No. 15047.01
Sheet Title

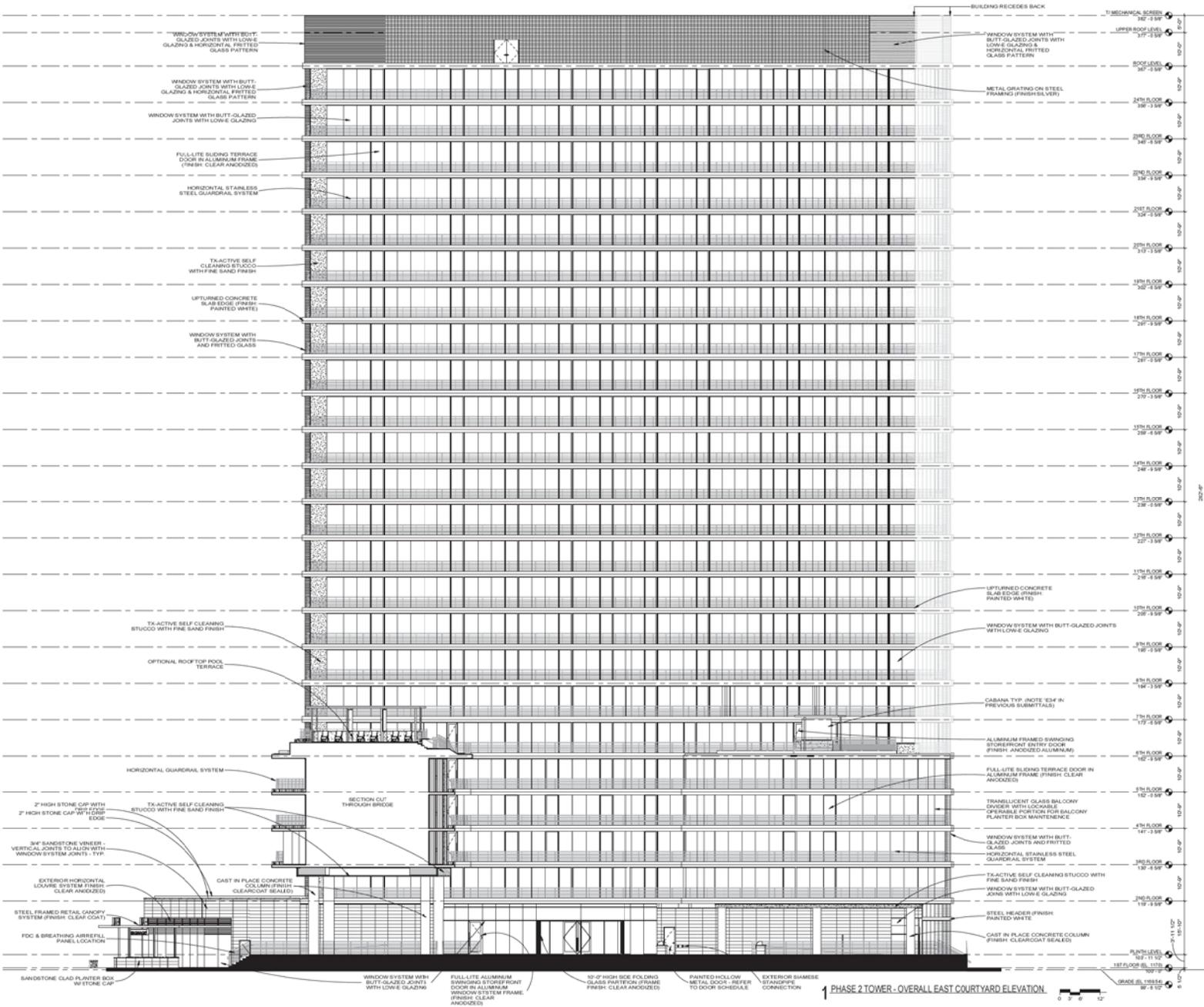
EAST ELEVATION - PHASE 1 TOWER

Sheet No. A3-11

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PHASE 1 TOWER - OVERALL EAST ELEVATION





KEY PLAN

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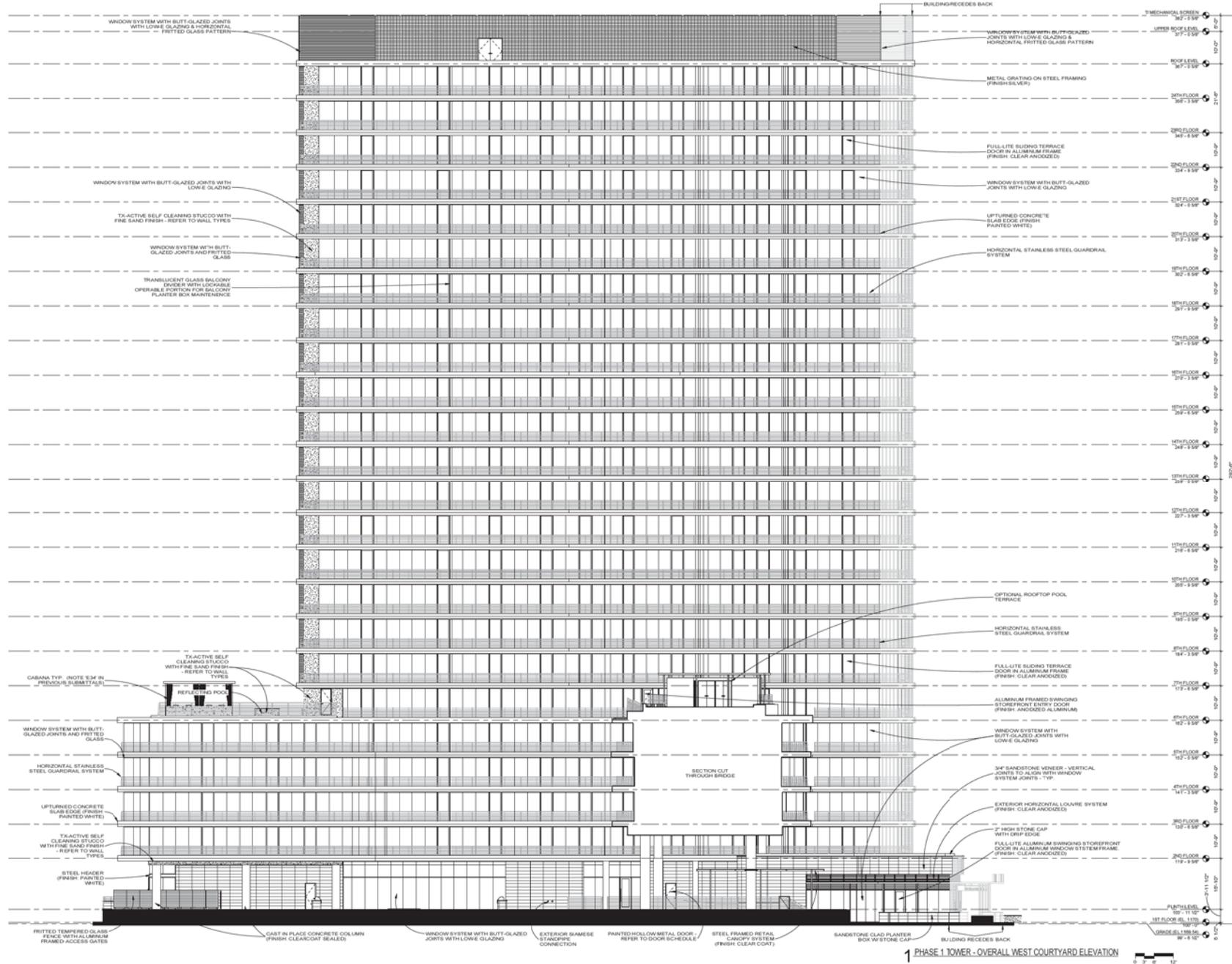
RCA Project No. 15047.01

Sheet Title

EAST ELEVATION - PHASE 2 TOWER

Sheet No. A3-12

NOT FOR CONSTRUCTION



NOT FOR CONSTRUCTION

1990 E VISTA DEL LAGO DRIVE
TEMPE AZ 85281

Issue Date 8/16/2016

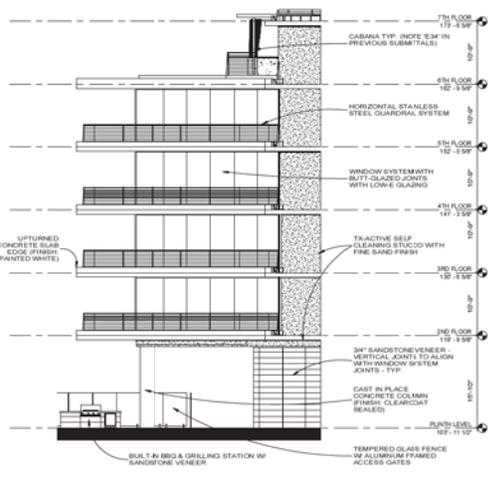
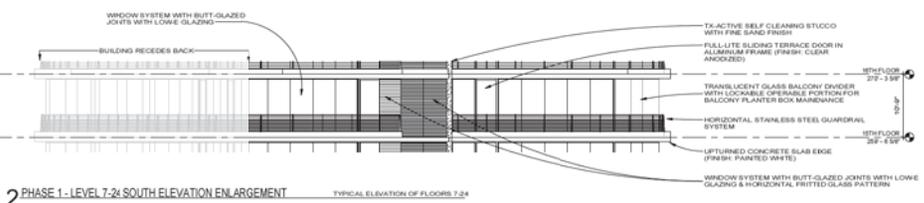
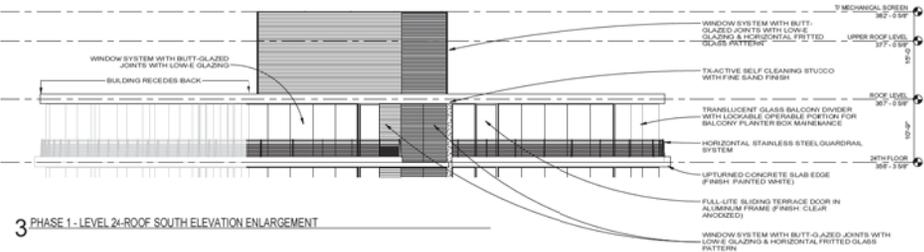
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Sheet Title
WEST ELEVATION - PHASE 1 TOWER

Sheet No. **A3-13**

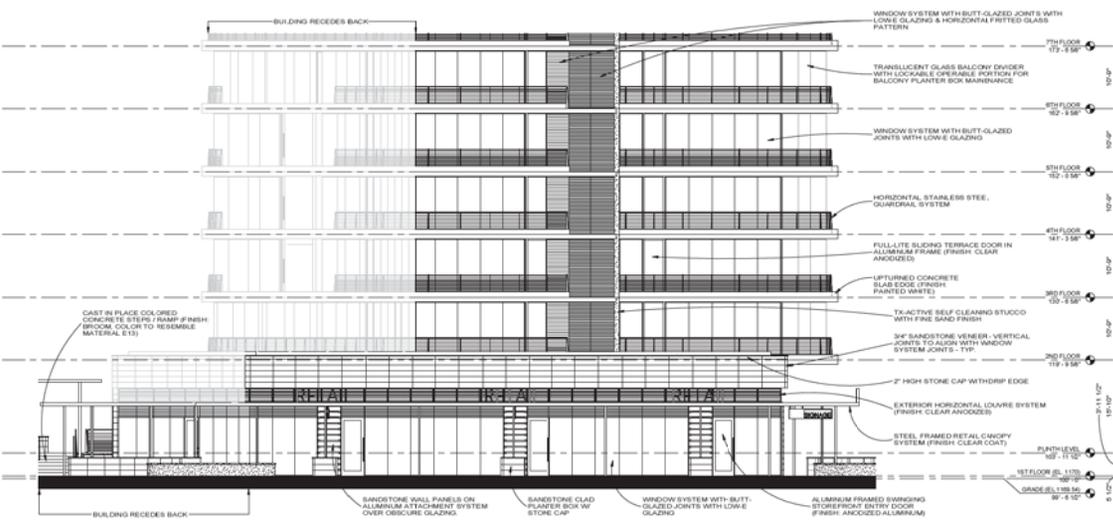
SCOPE CONSTRUCTION DOCUMENT SET

THE PIER

KEY PLAN



4 PHASE 1 - LEVEL 1-6 SOUTH WING ELEVATION ENLARGEMENT



1 PHASE 1 - LEVEL 1-6 SOUTH ELEVATION ENLARGEMENT



KEY PLAN

SCOPE CONSTRUCTION DOCUMENT SET

THE PIER

1190 E VISTA DEL LAGO DRIVE
TEMPE AZ 85281

Issue Date: 8/16/2016

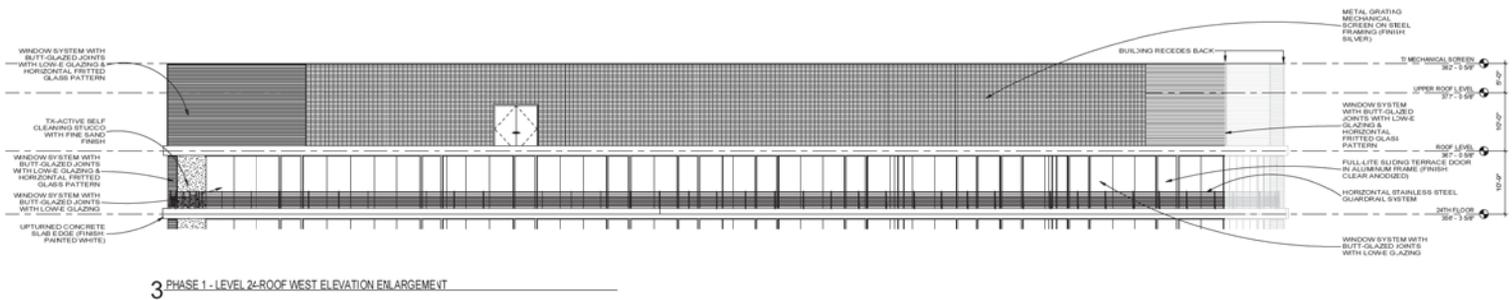
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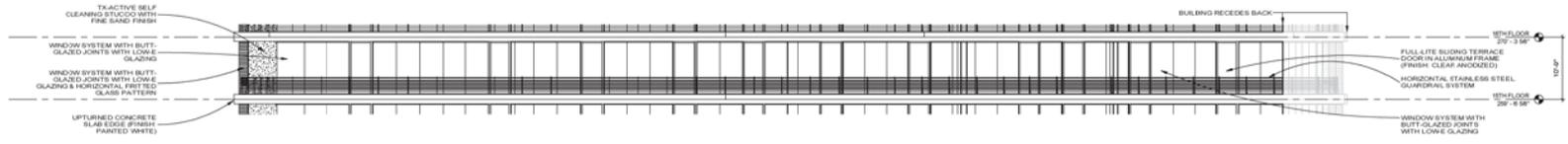
PHASE 1 - ENLARGED SOUTH ELEVATIONS

Sheet No.: A3-14

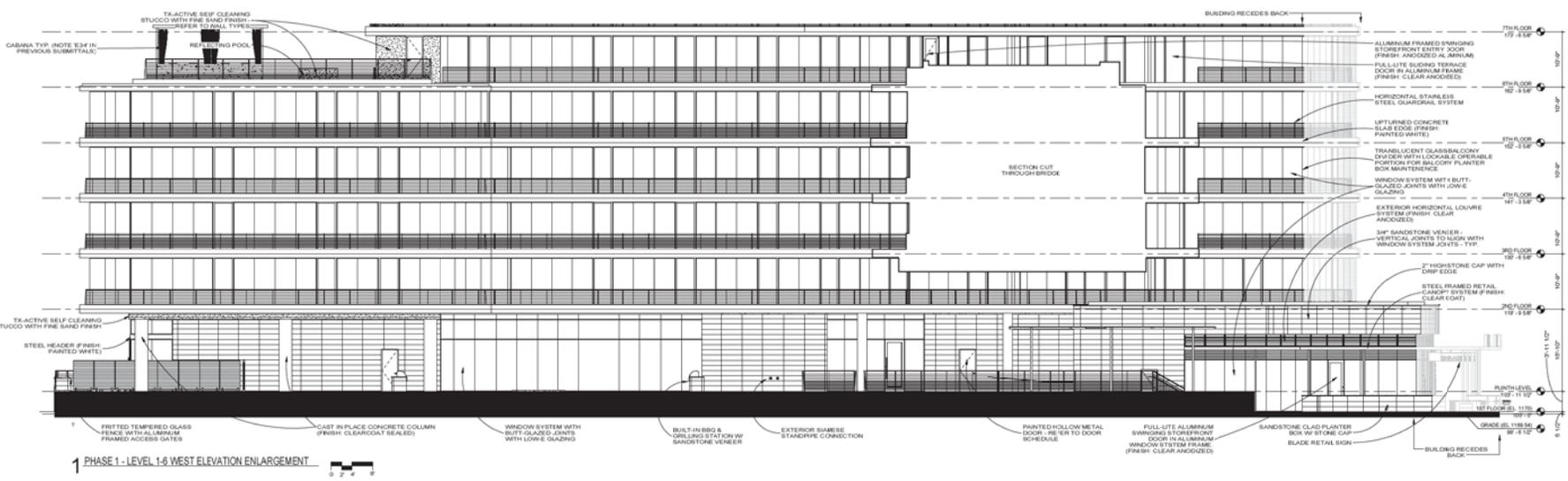
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3 PHASE 1 - LEVEL 2-ROOF WEST ELEVATION ENLARGEMENT



2 PHASE 1 - LEVEL 7-24 WEST ELEVATION ENLARGEMENT TYPICAL ELEVATION OF FLOORS 7-24



1 PHASE 1 - LEVEL 1-6 WEST ELEVATION ENLARGEMENT



KEY PLAN

SCOPE CONSTRUCTION DOCUMENT SET
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THE PIER

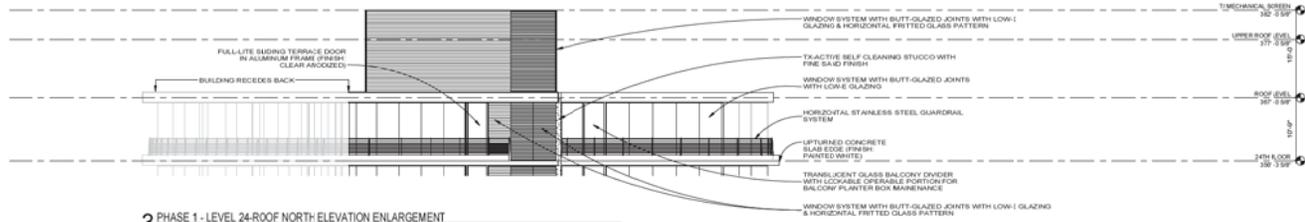
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 TEMPE AZ 85281
 Issue Date: 8/16/2016

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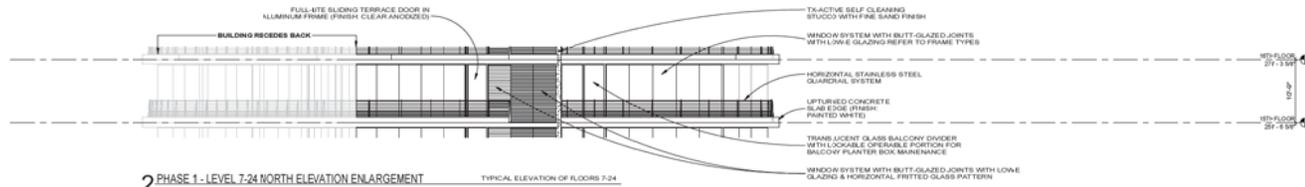
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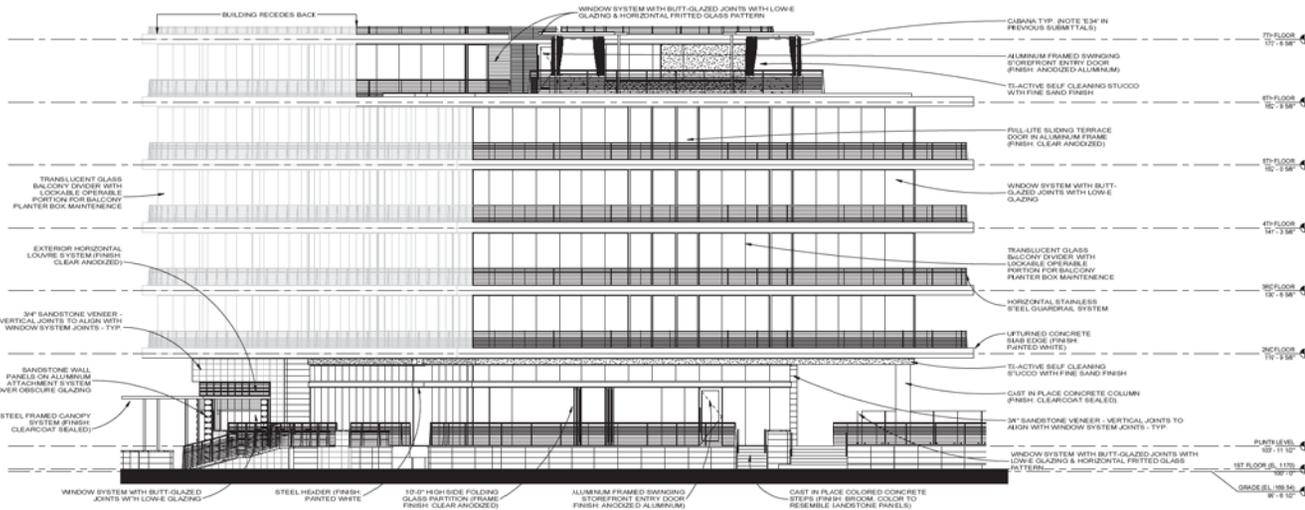


3 PHASE 1 - LEVEL 24-ROOF NORTH ELEVATION ENLARGEMENT



2 PHASE 1 - LEVEL 7-24 NORTH ELEVATION ENLARGEMENT

TYPICAL ELEVATION OF FLOORS 7-24



1 PHASE 1 - LEVEL 1-6 NORTH ELEVATION ENLARGEMENT



KEY PLAN

SCOPE CONSTRUCTION DOCUMENT SET
 Rinkachung

THE PIER

1190 E VISTA DEL LAGO DRIVE
 TEMPE AZ 85281

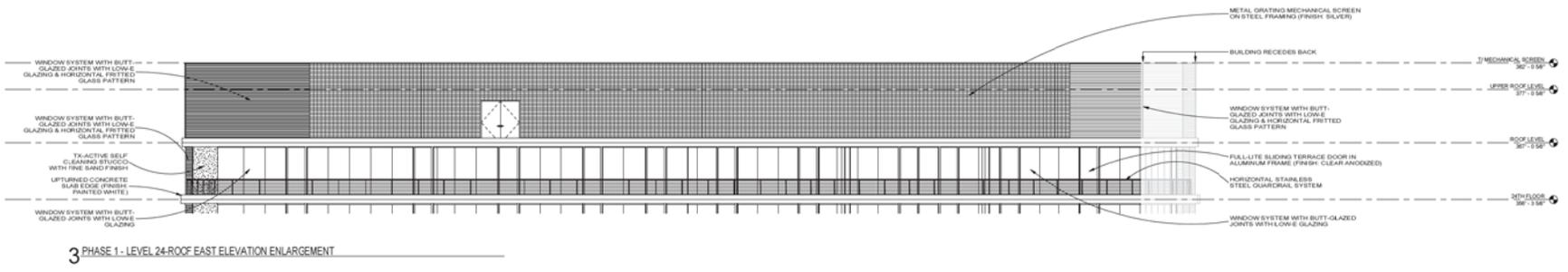
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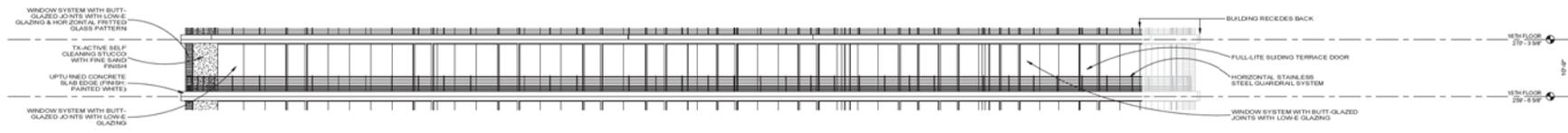
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 ENLARGED
 NORTH
 ELEVATIONS

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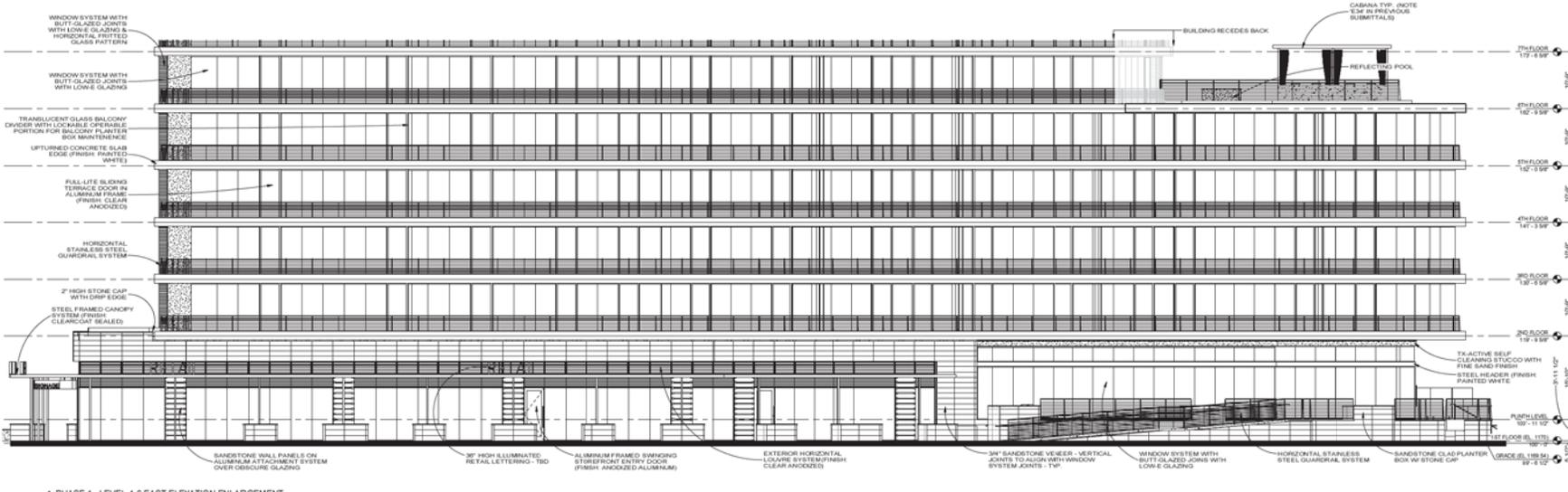
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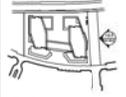
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2 PHASE 1 - LEVEL 7-24 EAST ELEVATION ENLARGEMENT TYPICAL ELEVATION OF FLOORS 7-24



1 PHASE 1 - LEVEL 1-6 EAST ELEVATION ENLARGEMENT



KEY PLAN

SCOPE CONSTRUCTION DOCUMENT SET
 Resonance

THE PIER

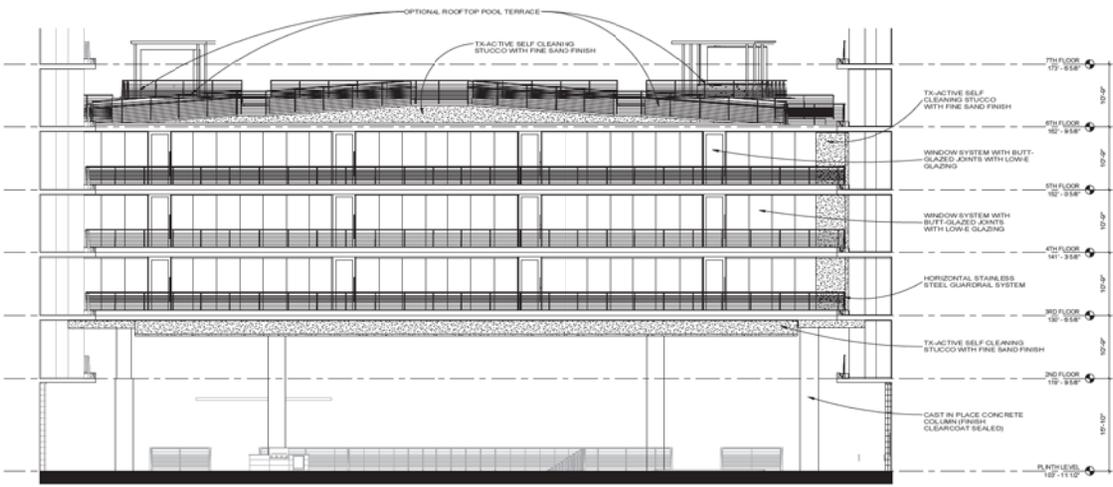
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 TEMPE AZ 85281
 Issue Date 8/16/2016

RCA Project No. 15047.01
 Sheet Title

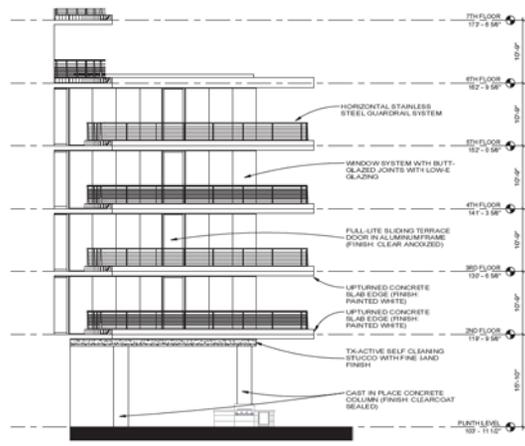
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Sheet No. A3-14.3

NOT FOR CONSTRUCTION



2 PHASE 2 - LEVEL 1-6 WEST BRIDGE ELEVATION ENLARGEMENT



1 PHASE 2 - LEVEL 1-4 EAST WING ELEVATION ENLARGEMENT



KEY PLAN

SCOPE CONSTRUCTION DOCUMENT SET

THE PIER

1190 E VISTA DEL LAGO DRIVE
 TEMPE AZ 85281
 Issue Date 8/16/2016

RCA Project No. 15049.01
 Sheet Title

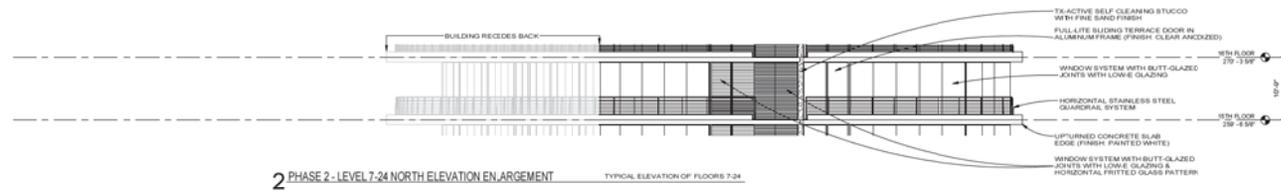
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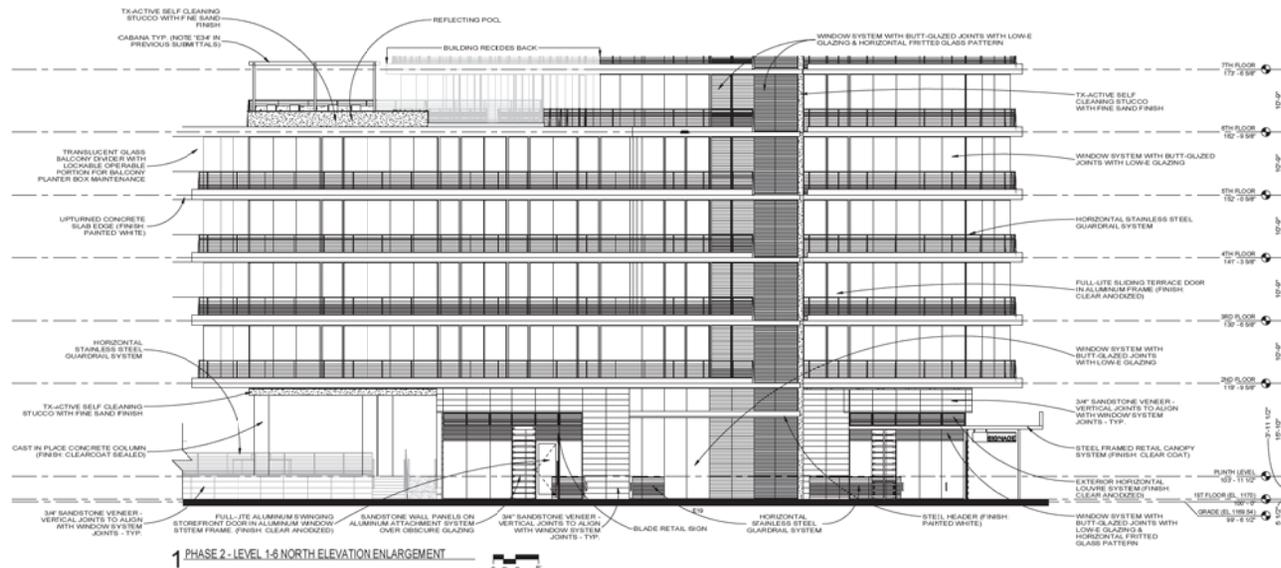
NOT FOR CONSTRUCTION



3 PHASE 2 - LEVEL 24-ROOF NORTH ELEVATION ENLARGEMENT



2 PHASE 2 - LEVEL 7-24 NORTH ELEVATION ENLARGEMENT



1 PHASE 2 - LEVEL 1-6 NORTH ELEVATION ENLARGEMENT



KEY PLAN

SCOPE CONSTRUCTION DOCUMENT SET
 Rinkachung

THE PIER

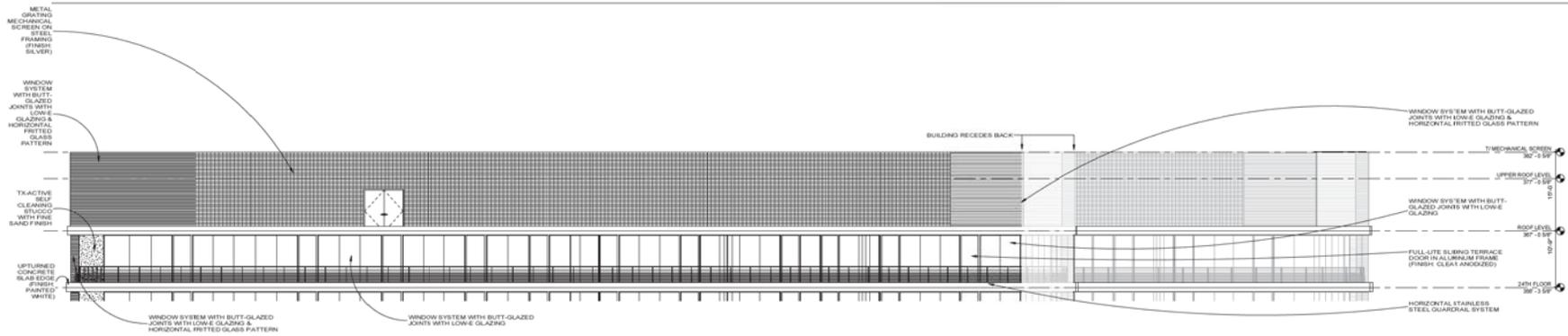
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 TEMPE AZ 85281
 Issue Date 8/16/2016

RCA Project No. 15049.01
 Sheet Title

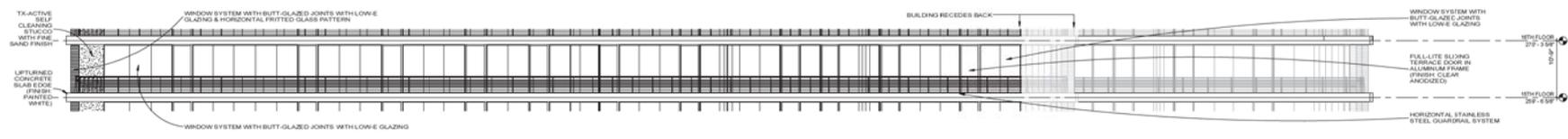
PHASE 2 - ENLARGED NORTH ELEVATIONS

Sheet No. A3-14.5

NOT FOR CONSTRUCTION

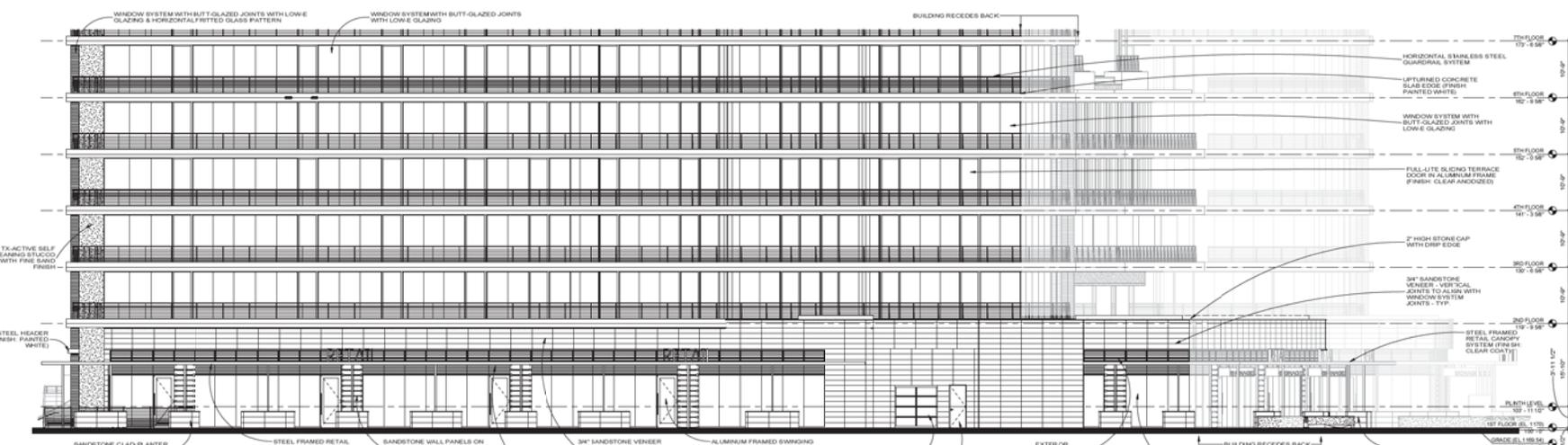


3 PHASE 2 - LEVEL 24-ROOF WEST ELEVATION ENLARGEMENT



2 PHASE 2 - LEVEL 7-24 WEST ELEVATION ENLARGEMENT

TYPICAL ELEVATION OF FLOORS 7-24



1 PHASE 2 - LEVEL 1-6 WEST ELEVATION ENLARGEMENT



KEY PLAN

SCOPE CONSTRUCTION DOCUMENT SET

THE PIER

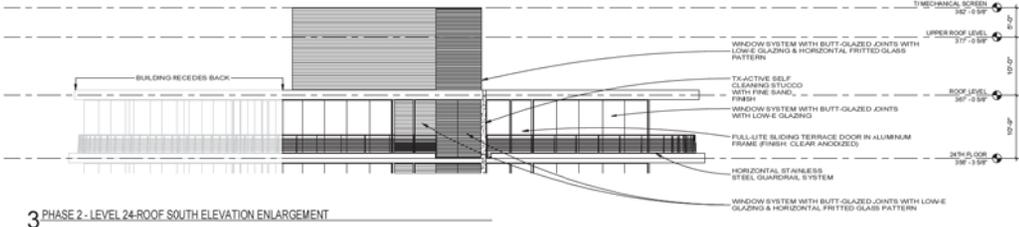
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TEMPE AZ 85281
Issue Date 8/16/2016

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Sheet Title

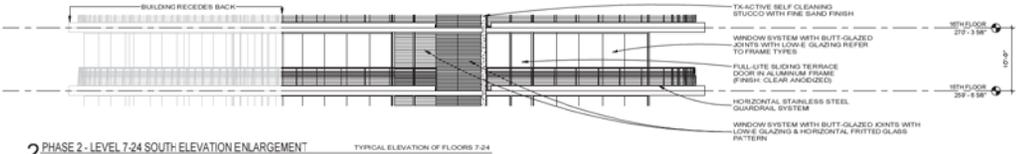
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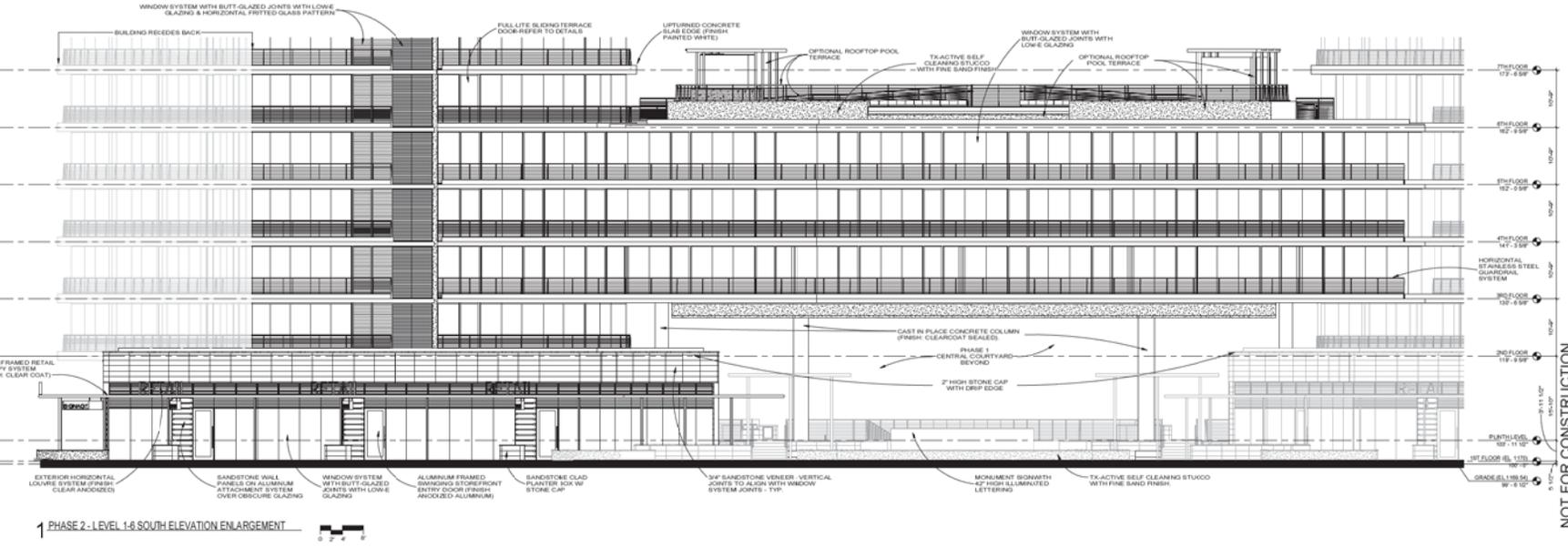
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3 PHASE 2 - LEVEL 24-ROOF SOUTH ELEVATION ENLARGEMENT



2 PHASE 2 - LEVEL 7-24 SOUTH ELEVATION ENLARGEMENT



1 PHASE 2 - LEVEL 1-6 SOUTH ELEVATION ENLARGEMENT



KEY PLAN

SCOPE CONSTRUCTION DOCUMENT SET
Revisions

THE PIER

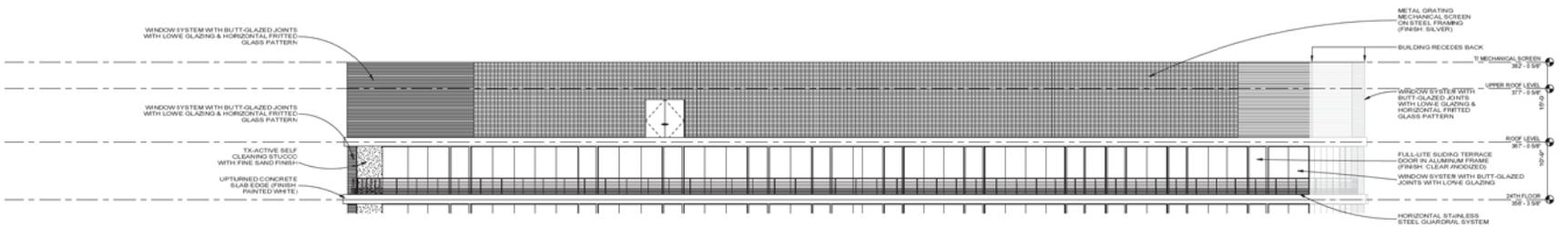
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TEMPE AZ 85281
Issue Date 8/16/2016

RCA Project No. 15047.01
Sheet Title

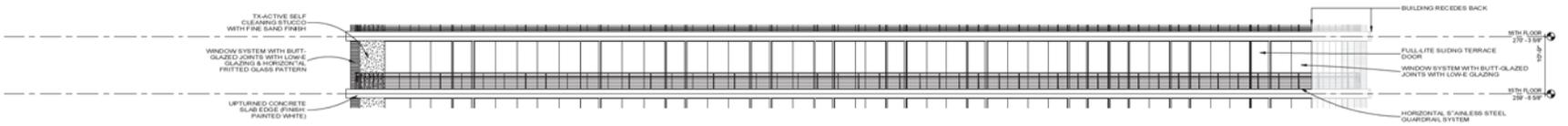
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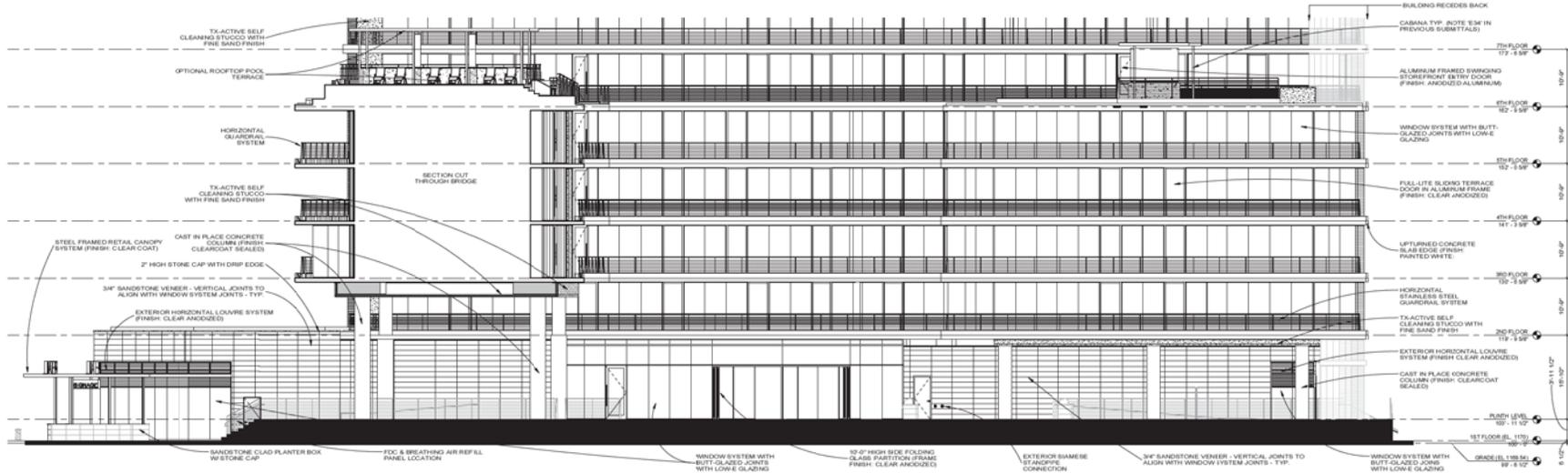
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3 PHASE 2 - LEVEL 24-ROOF EAST ELEVATION ENLARGEMENT



2 PHASE 2 - LEVEL 7-24 EAST ELEVATION ENLARGEMENT TYPICAL ELEVATION OF FLOORS 7-24



1 PHASE 2 - LEVEL 1-6 EAST ELEVATION ENLARGEMENT



KEY PLAN

SCOPE CONSTRUCTION DOCUMENT SET

THE PIER

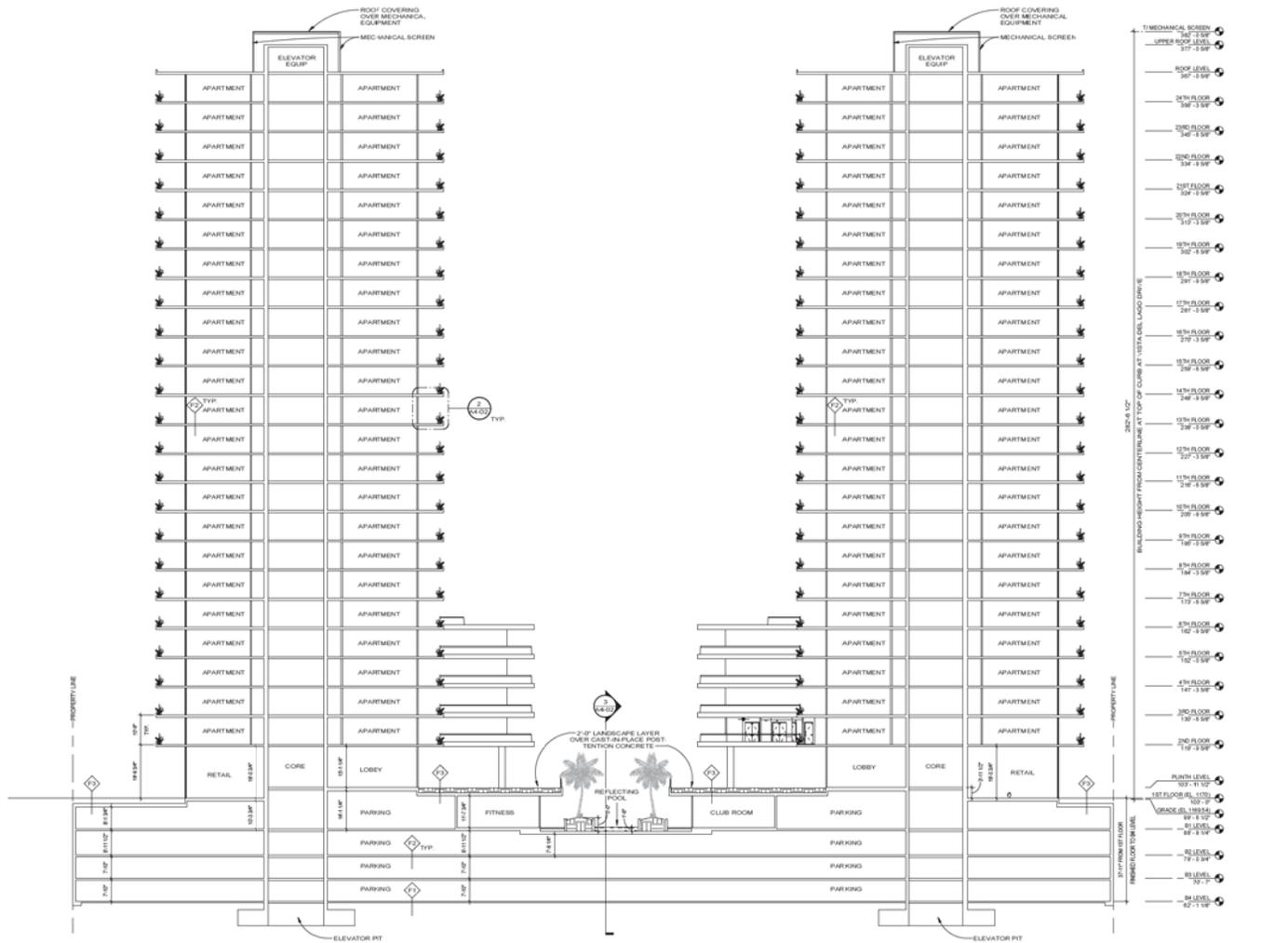
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TEMPE AZ 85281
Issue Date 8/16/2016

RCA Project No. 15047.01
Sheet Title

PHASE 2 - ENLARGED EAST ELEVATIONS

Sheet No. A3-14.8

NOT FOR CONSTRUCTION



1 CONCEPT SITE SECTION EAST-WEST



NOT FOR CONSTRUCTION

SCOPE CONSTRUCTION DOCUMENT SET

THE PIER

1190 E VISTA DEL LAGO DRIVE
TEMPE AZ 85281

Issue Date 8/16/2016

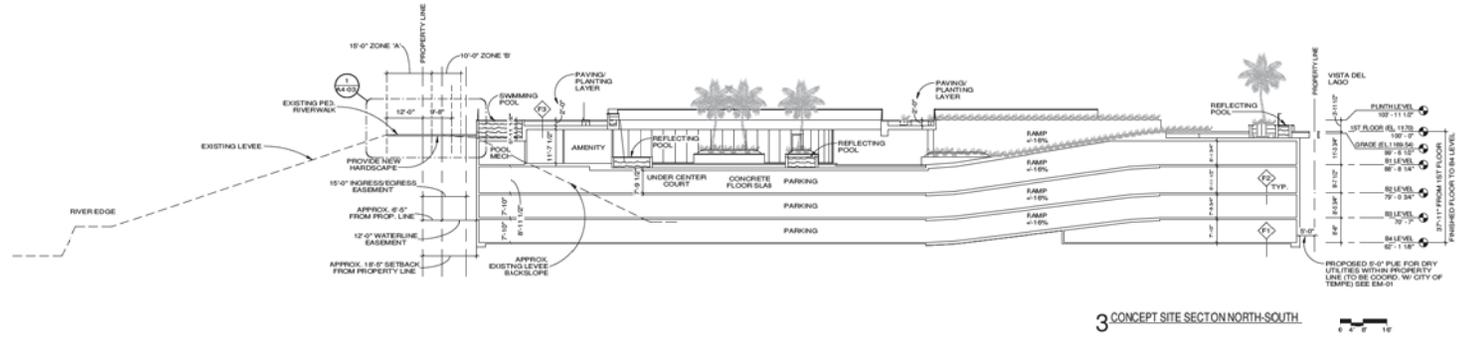
RCA Project No. 15049-01
Sheet Title

BUILDING SECTIONS

Sheet No. A4-01.

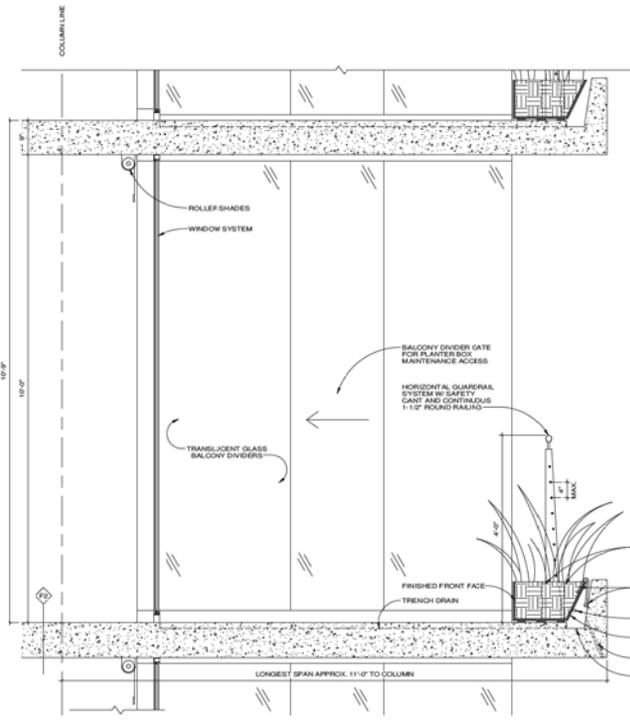
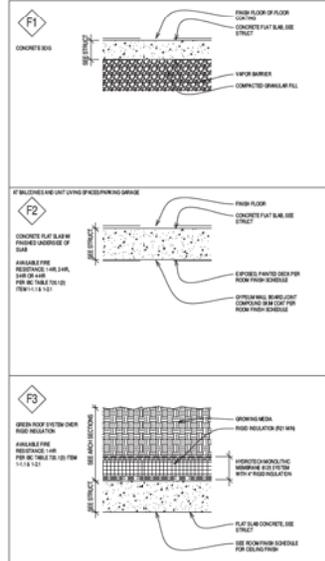
DATE: 8/16/2016
DRAWN BY: J. B. BROWN
CHECKED BY: J. B. BROWN
PROJECT NO: 15049-01

RINKAICHUNG
RINKAICHUNG ARCHITECTURE INC.

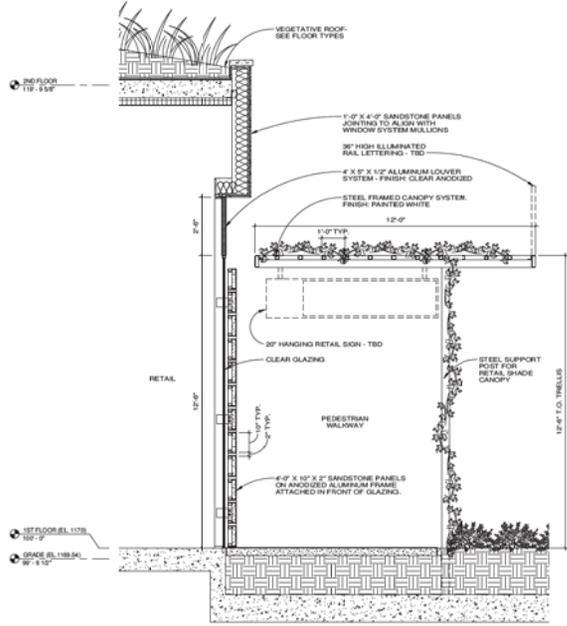


3 CONCEPT SITE SECTION NORTH-SOUTH

FLOOR TYPES



2 TYPICAL BALCONY & PLANTERBOX SECTION



1 TYPICAL RETAIL STOREFRONT SECTION

NOT FOR CONSTRUCTION

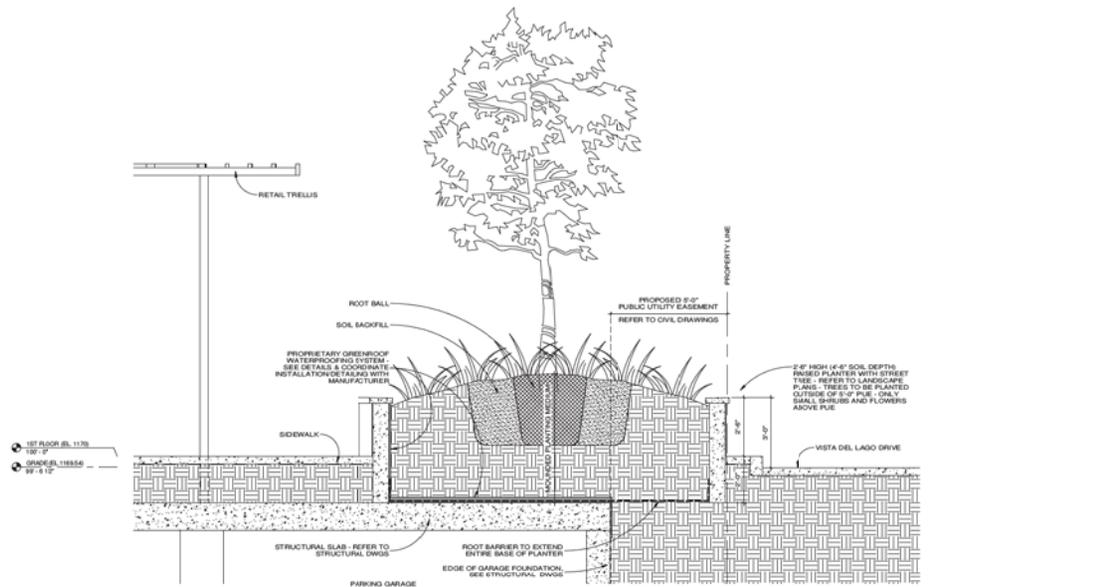
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THE PIER

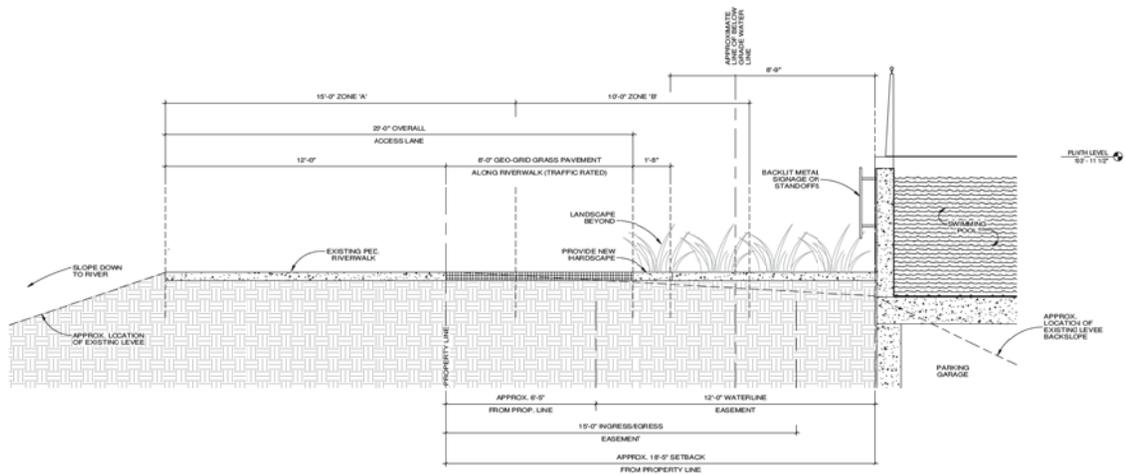
1190 E VISTA DEL LAGO DRIVE
TEMPE AZ 85281
Issue Date 8/16/2016

RCA Project No: 15047.01
Sheet Title: BUILDING SECTIONS & DETAILS

Sheet No. A4-02



2 SECTION AT PLANTER - SOUTH SIDE OF SITE



1 RIVER WALK WATER FEATURE DIAGRAM

DEVELOPMENT PROJECT FILE

for
THE PIER
(PL150426)

Existing Entitled Conceptual Plans for Reference:

- 46. Planned Area Development Cover Sheet T1-01
- 47. Site Plan Sheet T1-02
- 48. Refuse Diagram Sheet RP-01
- 49. Concept Site Plan Showing Hardscape Sheet A1-00
- 50-53. Below Grade Parking Garage Floor Plans Sheets A1-01-04 (ordered from B4 lowest level up to B1 first level below street level)
- 54. First Floor Plan Sheet A1-05

Note: structural changes within the floorplans did not affect the exterior design or PAD, therefore the existing entitled floor plans are not included, only the new sheets representing the proposed floorplans utilizing the new structural system.

- 55-61. Landscape Plans Sheets L1.1 through L1.7
- 62-67. Colored Elevations Sheets A3-01 through A3-06
- 68-75. Color Renderings

PLANNED AREA DEVELOPMENT OVERLAY FOR THE PIER

BEING A PORTION OF THE SOUTH HALF OF SECTION 14, TOWNSHIP 1 NORTH, RANGE 4 EAST OF
THE GILA AND SALT RIVER MERIDIAN, CITY OF PHOENIX, COUNTY OF MARICOPA, ARIZONA

ACKNOWLEDGEMENT

ON THIS _____ DAY OF _____ 20____ BEFORE ME, THE
UNDERSIGNED, PERSONALLY APPEARED ROBERT FRANSWAY OWNER, WHO
ACKNOWLEDGED HIMSELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED
TO THE INSTRUMENT WITHIN AND WHO EXECUTED THE FOREGOING
INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREBY SET MY HAND AND OFFICIAL SEAL

BY: _____ DATE _____
OWNER DATE

OWNER/DEVELOPER

SPRINGBROOK DEVELOPMENT, LLC, 1111 N MISSION PARK BLVD.
CHANDLER, AZ 85224

CONTACT: ROBERT FRANSWAY
(414) 788-6125
ROFRANSWAY@GMAIL.COM

PROJECT DATA

GENERAL PLAN LAND USE	PAD PROVIDED
GENERAL PLAN DENSITY	MIXED-USE
	HIGH DENSITY - URBAN CORE (>65du/ac)
SITE AREA	114,311 S.F. (2.624 AC)
DWELLING QUANTITY	551
DENSITY	209 98 DUA (551/2.624 AC)
BUILDING HEIGHT	±292'-6" (Top of Mechanicals)
BUILDING LOT COVERAGE	59.8% (Footprint at 1st floor & Podium)
SITE LANDSCAPE COVERAGE	11% (114,311 S.F. / 12,643 S.F.)
BUILDING SETBACKS	
FRONT (Vista del Lago)	31'-6" to retail storefront
SIDE EAST	15'-3-1/2" to lower balcony
SIDE WEST	18'-0" to lower balcony
REVERSE FRONT (Lake frontage)	18'-5" to raised courtyard
VEHICLE PARKING QUANTITY	
TOTAL PARKING REQUIRED	
Retail (17,309 S.F./500)	57.69
Restaurant (8,245 S.F./75)	109.93
Dining Patio (3,959 S.F./300/150)	24.39
Studio (88' x 11unit)	88.00
1-BR (207' x 1.5unit)	370.50
2-BR (208' x 2unit)	416.00
3-BR (8' x 2.5unit)	20.00
Guest (551' x 0.2unit)	110.20
TOTAL PARKING REQUIRED	1,197
TOTAL PARKING PROVIDED	
Standard Parking Stall (Min. 8'-0" W x 18'-0" D)	945
Tandem Parking Stall	90
Compact Parking Stall	28
Handicap Accessible Parking Stall (Includes Van Accessible)	22
Drop-off Stall	6
Street Angle Parking Stall	17
TOTAL PARKING PROVIDED	1,106
MOTORCYCLE/SCOOTER PARKING	
TOTAL PROVIDED	33
BICYCLE PARKING QUANTITY**	
Retail (17,309 S.F./2,500, 4 MIN)	4.00
Restaurant (8,245 S.F./500)	16.49
Dining Patio (3,959 S.F./2,000)	1.98
Studio (88' x 0.75unit)	88.00
1-BR (207' x 0.75unit)	183.25
2-BR (208' x 0.75unit)	156.00
3-BR (8' x 1unit)	8.00
Guest (551' x 0.2unit)	110.20
TOTAL BIKE PARKING REQ.	548
TOTAL BIKE PARKING PROV.	626
** Bicycle Commute Area	
USES	
Retail (17,309 S.F.)	
Restaurant (8,245 S.F.)	
Dining Patio (3,959 S.F.)	
Residential (551 units)	
Use Permit Required	(90) tandem parking spaces for residential and/or restaurant valet (TBD)

SITE VICINITY MAP



CONDITIONS FOR APPROVAL: PL150426

LEGAL DESCRIPTION

LOT 5, PIER 202-2ND AMENDED, ACCORDING TO BOOK 1052 AT PAGE 16,
RECORDS OF MARICOPA COUNTY ARIZONA

DS150687

PL150426

REC00000

REC00000

PL150426

DS150687

CONCEPTUAL - NOT FOR CONSTRUCTION

RINKA|CHUNG ARCHITECTURE, INC.
754 North Central Expressway, Suite 2000
Phoenix, Arizona 85004
Telephone: (414) 633-0301

RINKA|CHUNG
RINKA|CHUNG ARCHITECTURE, INC.

FORMAL SITE PLAN REVIEW SUBMITTAL

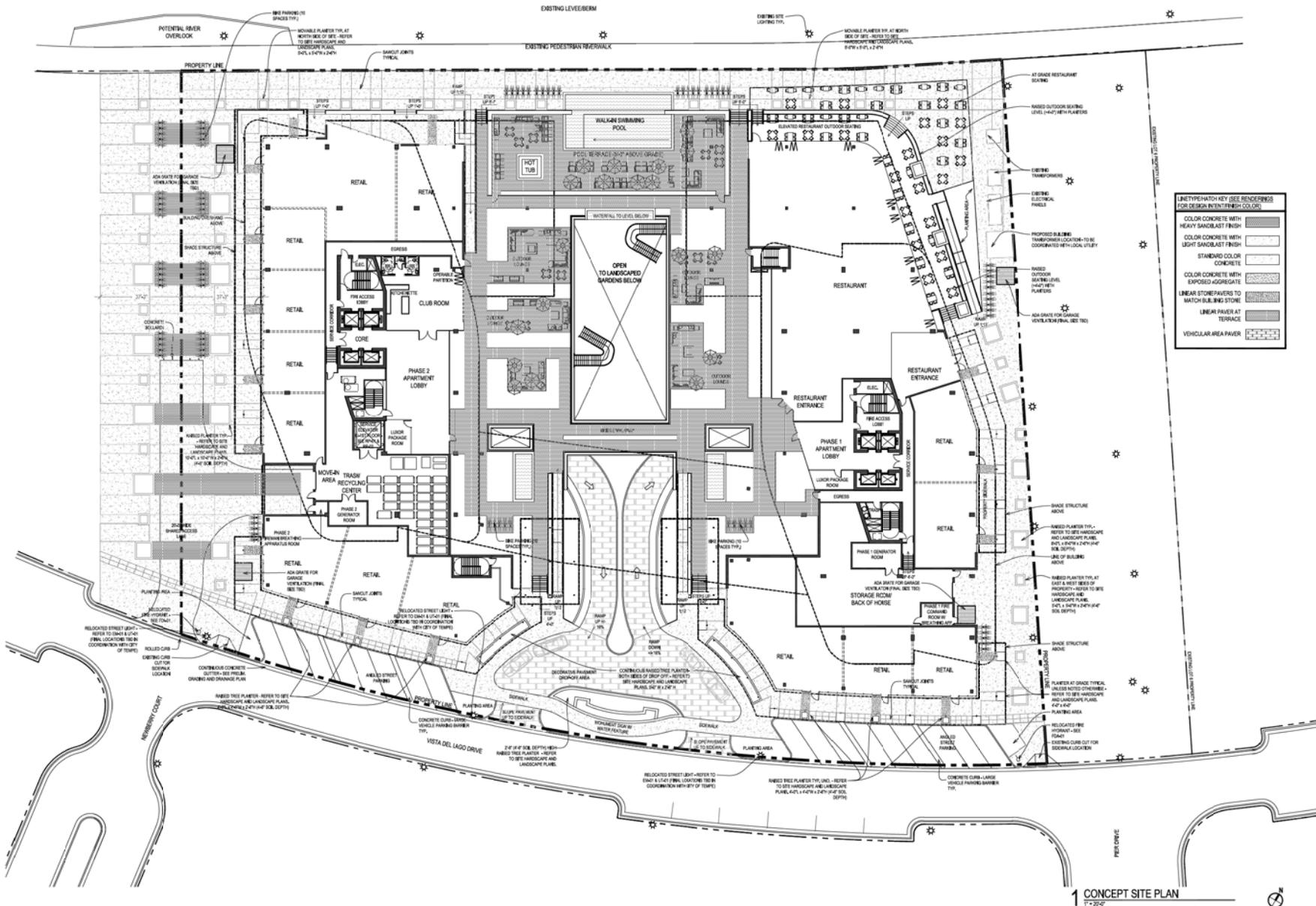
The PIER

RCA Project No. 150407.01
Sheet Title

**TITLE SHEET
& PROJECT DATA**

Sheet No. **T1-01**

LOT 5,
PIER 202-2ND AMENDED,
TEMPE ARIZONA, 85281
Issue Date: OCTOBER 19, 2015



LINE TYPE/KEY (SEE RENDERINGS FOR DESIGN INTENT/FINISH/COLOR)

[Pattern]	COLOR CONCRETE WITH HEAVY SANDBLAST FINISH
[Pattern]	COLOR CONCRETE WITH LIGHT SANDBLAST FINISH
[Pattern]	STANDARD COLOR CONCRETE
[Pattern]	COLOR CONCRETE WITH EXPOSED AGGREGATE
[Pattern]	LINEAR STONE PAVERS TO MATCH BUILDING STONE
[Pattern]	LINEAR PAVEMENT AT TERRACE
[Pattern]	VEHICULAR AREA PAVEMENT

1 CONCEPT SITE PLAN
17-200

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FORMAL SITE PLAN REVIEW SUBMITTAL

The PIER

RCA Project No. 150407.01
Sheet Title

CONCEPT SITE PLAN

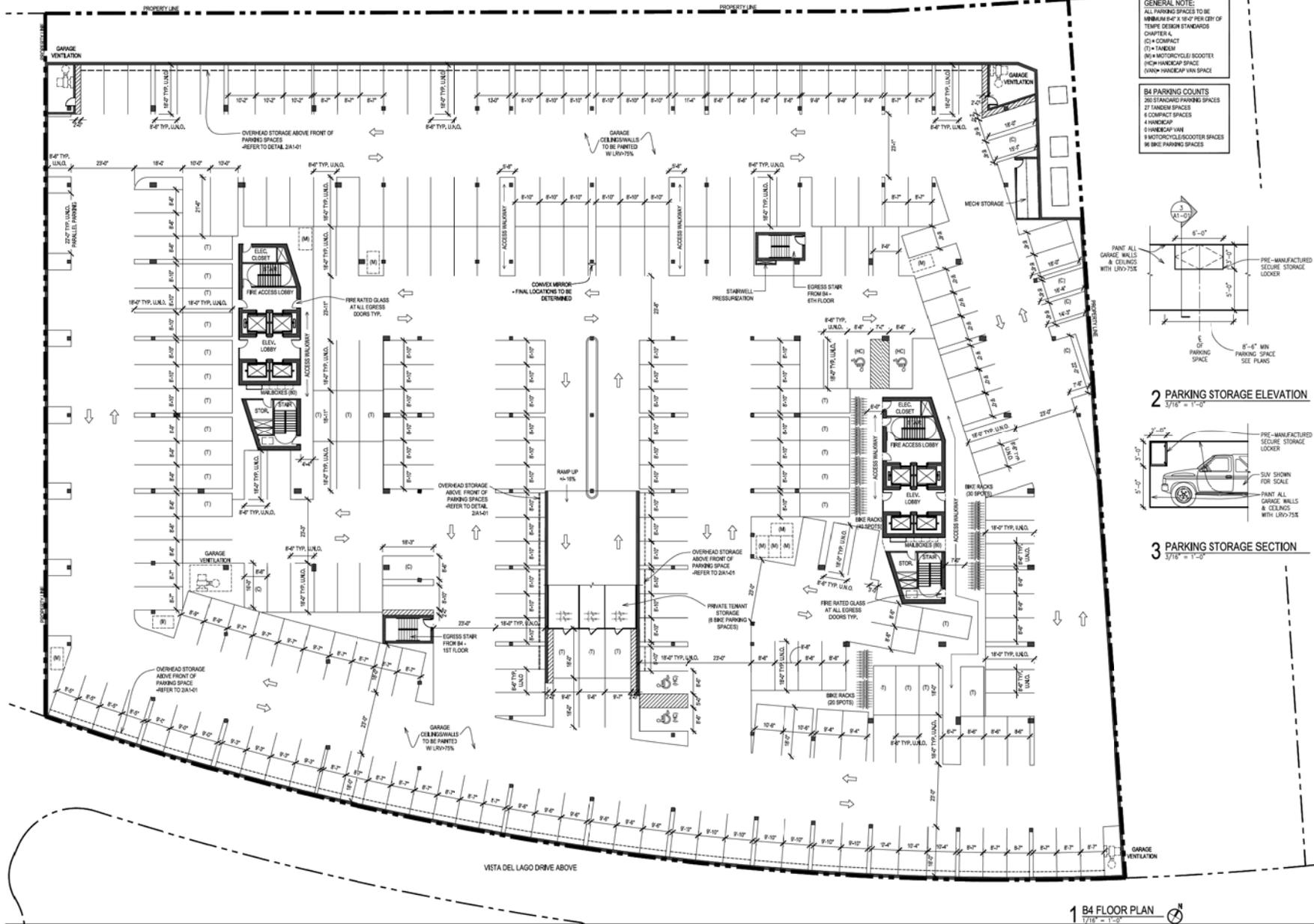
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A1-00

LOT 5
APN: 319-32-019
TEMPE, ARIZONA, 85281
Issue Date: OCTOBER 19, 2015

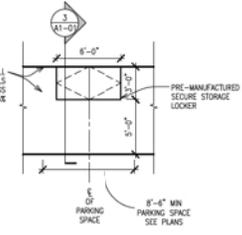
RINKA|CHUNG ARCHITECTURE INC.
754 NORTH CENTRAL AVENUE
MESA, ARIZONA 85201
PH: 480.961.1000
WWW.RCARCHITECTURE.COM

RINKA|CHUNG
RINKA|CHUNG ARCHITECTURE INC.

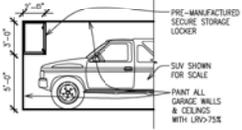


GENERAL NOTE:
 ALL PARKING SPACES TO BE MINIMUM 8'-0" X 18'-0" PER CITY OF TEMPE DESIGN STANDARDS CHAPTER 4.
 (C) = COMPACT
 (T) = TRUCKS
 (M) = MOTORCYCLE SCOOTER
 (H) = HANDICAP SPACE
 (V) = VAN/HANDICAP VAN SPACE
 (B) = BIKE PARKING SPACES

B4 PARKING COUNTS
 200 STANDING PARKING SPACES
 27 HANDICAP SPACES
 8 COMPACT SPACES
 4 HANDICAP VAN
 5 HANDICAP VAN
 9 MOTORCYCLE/SCOOTER SPACES
 96 BIKE PARKING SPACES



2 PARKING STORAGE ELEVATION
 3/16" = 1'-0"



3 PARKING STORAGE SECTION
 3/16" = 1'-0"

1 B4 FLOOR PLAN
 1/16" = 1'-0"

CONCEPTUAL - NOT FOR CONSTRUCTION

FORMAL SITE PLAN REVIEW SUBMITTAL

The PIER

RCA Project No. 150407.01
 Sheet Title

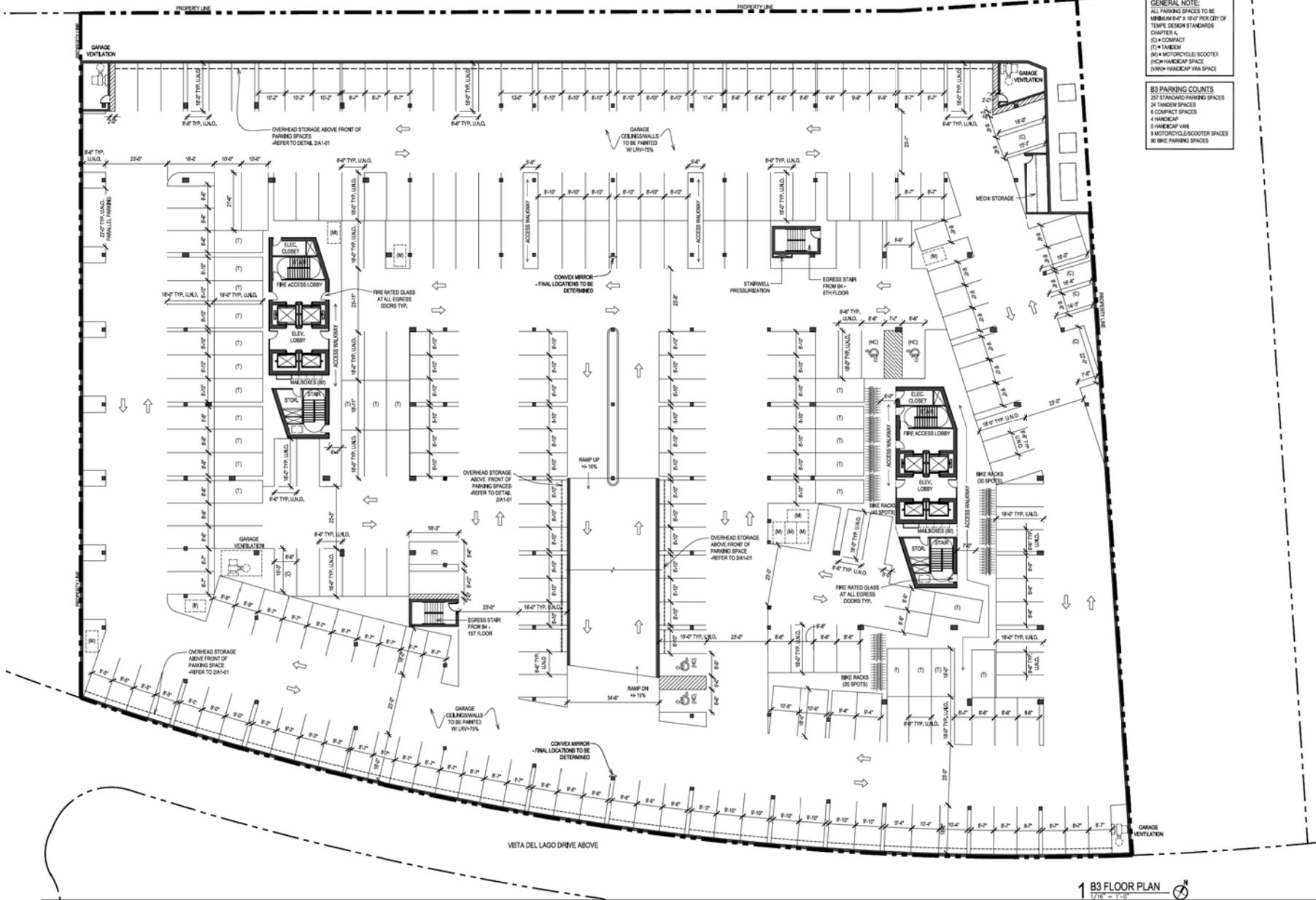
B4 FLOOR PLAN

Sheet No.

A1-01

LOT 5
 APRN 3 19-32-019
 TEMPE ARIZONA 85281
 Issue Date OCTOBER 19, 2015

RINKA|CHUNG
 RINKA|CHUNG ARCHITECTURE INC.
 754 NORTH CENTRAL AVENUE, SUITE 100
 MESA, ARIZONA 85201
 Telephone: (480) 831-0301



GENERAL NOTE:
 ALL PARKING SPACES TO BE MINIMUM 8'-0" X 18'-0" PER CITY OF TEMPE DESIGN STANDARDS CHAPTER 4.
 (C) = COMPACT
 (T) = TRUCKS
 (M) = MOTORCYCLE/SCOOTER
 (H) = HANDICAP SPACE
 (V) = VAN/HANDICAP VAN SPACE

B3 PARKING COUNTS
 237 STANDING PARKING SPACES
 24 HANDICAP SPACES
 8 COMPACT SPACES
 4 HANDICAP
 5 HANDICAP VAN
 9 MOTORCYCLE/SCOOTER SPACES
 50 BIKE PARKING SPACES

1 B3 FLOOR PLAN
 1/18 - 1/19

CONCEPTUAL - NOT FOR CONSTRUCTION

RINKA|CHUNG ARCHITECTURE INC.
 754 NORTH CENTRAL AVENUE, SUITE 100
 MESA, ARIZONA 85201
 Telephone: 480.633.8321
RINKA|CHUNG
 RINKA|CHUNG ARCHITECTURE INC.

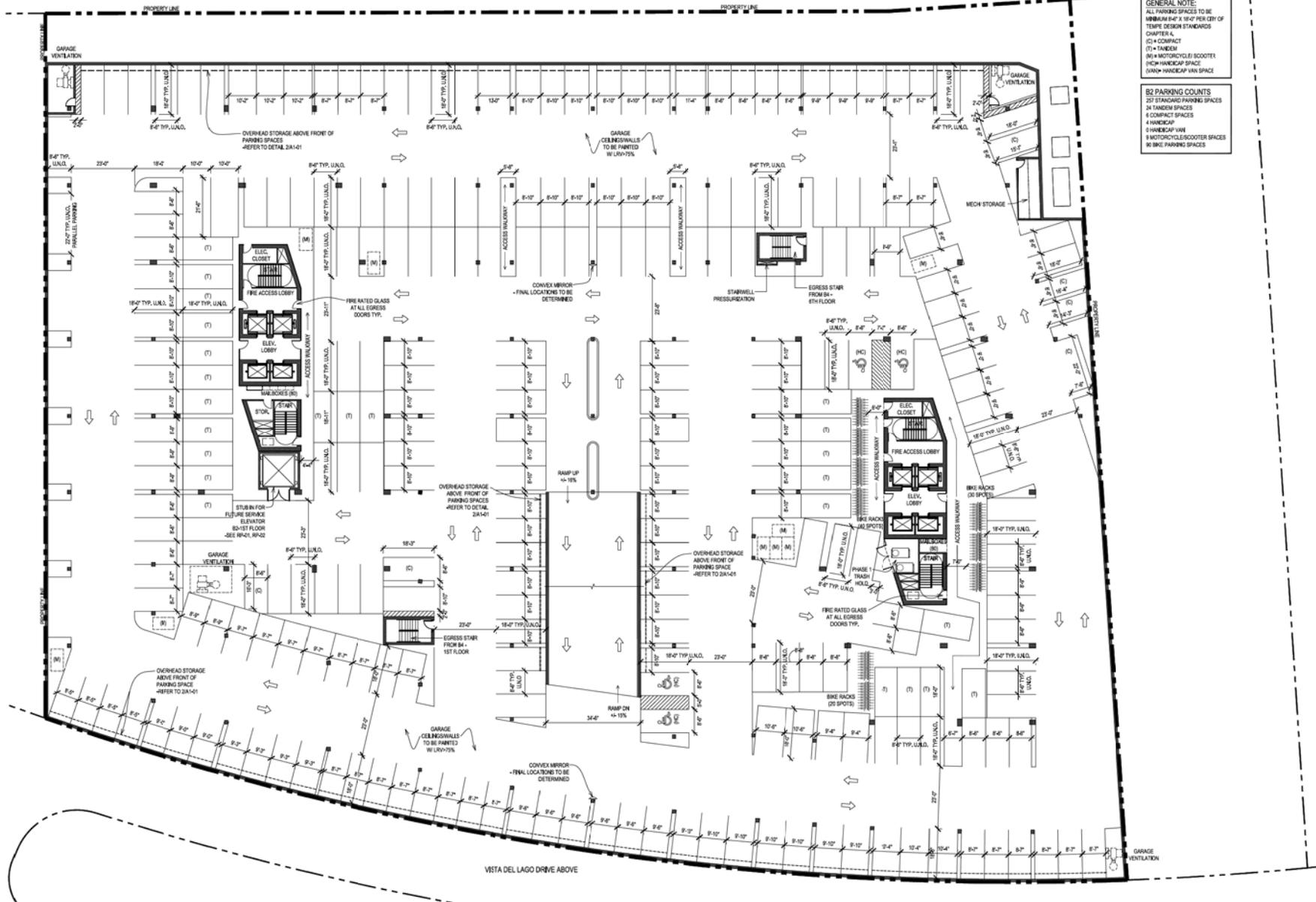
FORMAL SITE PLAN REVIEW SUBMITTAL

The PIER

LOT 5
 APN: 319-32-019
 TEMPE, ARIZONA, 85281
 Issue Date: OCTOBER 19, 2015

RCA Project No. 150407.01
 Sheet Title
B3 FLOOR PLAN

Sheet No. **A1-02**



GENERAL NOTE:
 ALL PARKING SPACES TO BE MINIMUM 8'-0" X 18'-0" PER CITY OF TEMPE DESIGN STANDARDS CHAPTER 4.
 (C) = COMPACT
 (T) = TRUCKS
 (M) = MOTORCYCLE/SCOOTER
 (H) = HANDICAP SPACE
 (V) = HANDICAP VAN SPACE
 (S) = BIKE PARKING SPACES

B2 PARKING COUNTS
 237 STANDING PARKING SPACES
 24 TRUCK SPACES
 8 COMPACT SPACES
 4 HANDICAP
 5 HANDICAP VAN
 9 MOTORCYCLE/SCOOTER SPACES
 50 BIKE PARKING SPACES

1 B2 FLOOR PLAN
 1/16" = 1'-0"

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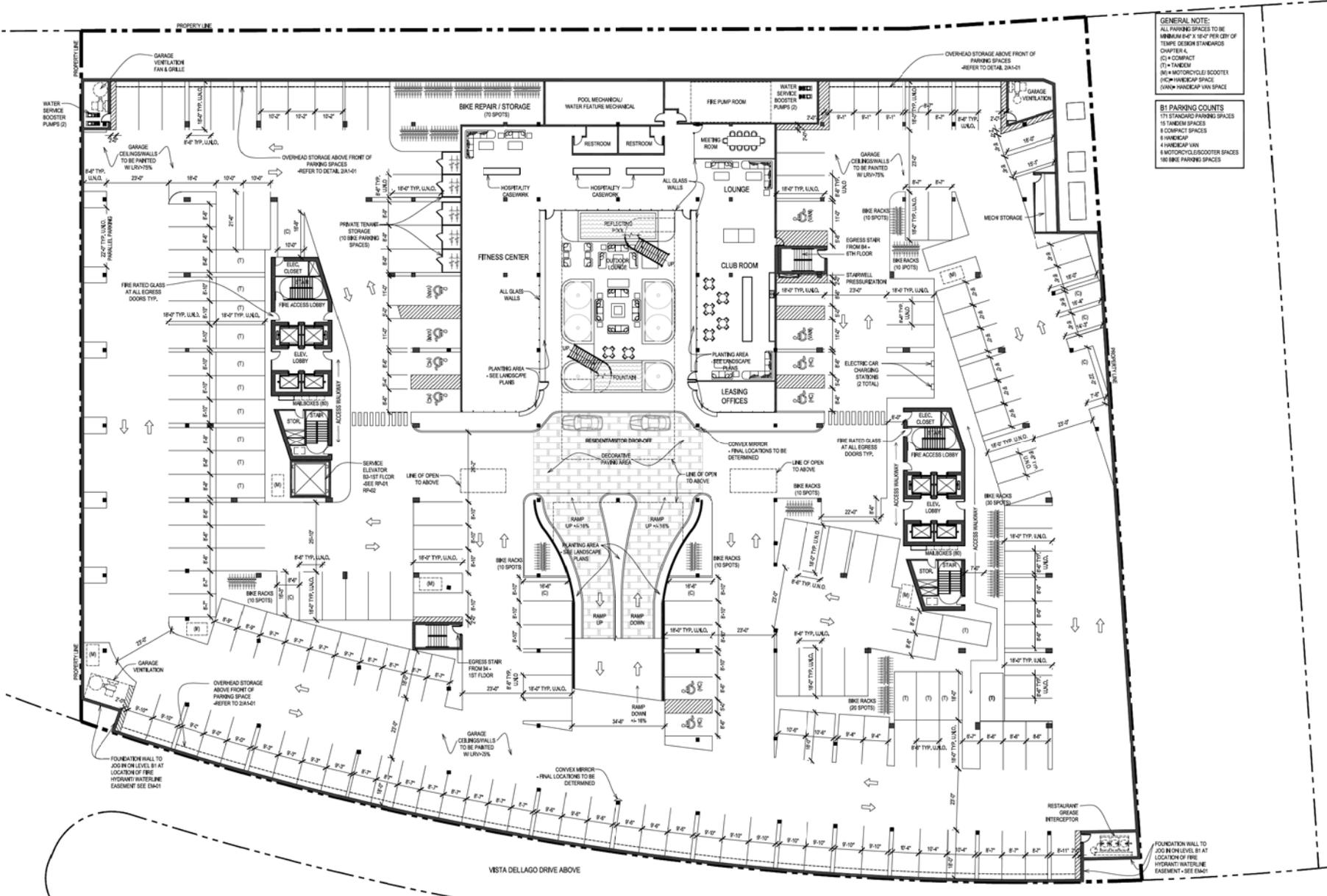
FORMAL SITE PLAN REVIEW SUBMITTAL

The PIER

RCA Project No. 150407.01
 Sheet Title
B2 FLOOR PLAN

LOT 5
 APN: 319-32-019
 TEMPE, ARIZONA, 85281
 Issue Date: OCTOBER 19, 2015

Sheet No. **A1-03**



GENERAL NOTE:
 ALL PARKING SPACES TO BE MINIMUM 8'-0" X 18'-0" PER CITY OF TEMPE DESIGN STANDARDS CHAPTER 4.
 (C) = COMPACT
 (T) = TRUCK
 (M) = MOTORCYCLE SCOOTER
 (H) = HANDICAP SPACE
 (V) = HANDICAP VAN SPACE
 (B) = BIKE PARKING SPACES

B1 PARKING COUNTS
 171 STANDING PARKING SPACES
 15 TRUCK SPACES
 8 COMPACT SPACES
 4 HANDICAP
 4 HANDICAP VAN
 4 MOTORCYCLE/SCOOTER SPACES
 108 BIKE PARKING SPACES

1 B1 FLOOR PLAN
 1/17/15 - 1/17/15

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FORMAL SITE PLAN REVIEW SUBMITTAL

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RCA Project No. 150407.01
 Sheet Title
B1 FLOOR PLAN

LOT 5
 APRIL 3, 1992-019
 TEMPE, ARIZONA, 85281
 Issue Date OCTOBER 19, 2015

Sheet No. **A1-04**

TEMPE TOWN LAKE

EXISTING D.G. BOARDWALK TO REMAIN

EXISTING CONCRETE TO REMAIN

STEEL HEADER D.G. COLOR CHANGE

TOP OF LEVEE / FIRE LANE
COMPACTED D.G.

LIMIT OF WORK

LIMIT OF WORK

TRACT B
PROPOSED
DESIGN FENCING
APPROVAL FROM
OWNER

LIMIT OF WORK

ALTERNATE
BRINNEA
NOBILIS IF
STRUCTURAL
CONSTRAINTS
DO NOT ALLOW
DATE PALMS

ALTERNATE
BRINNEA
ARMATA IF
STRUCTURAL OR
RAISED PLANTER
CONSTRAINTS

SIGHT DISTANCE
BARRIERS
LANDSCAPING
2'-0" OR LESS IN
HEIGHT; TREES
TRIMMED UP TO
6'-0"

1ST FLOOR LANDSCAPE LEGEND SEE L1.7 FOR MASTER LANDSCAPE LEGEND

BOTANICAL NAME COMMON NAME SIZE QTY.

TREES			
	RISTADIA RED PUS	RED PUS	4" BOX 9
	FICUS BENAMINA	WEeping FIG	24" BOX 16
	PROSOPIS VELUTNA	NATIVE MESQUITE	24" BOX 3
	CORDIA BOISSIERI	TEXAS OLIVE	24" BOX 26
	TRACHYCARPUS FORTUNEI	WINDMILL PALM	24" BOX 3
	PHOENIX DACTYLIFERA MEDJOO'	DATE PALM	18" CLR APICAL MERI-STEM 24" BOX 10 AL: BRINNEA NOBILIS WHITE NOTED ON PLANS
	CYCAS REVOLUTA	SAGO PALM	24" BOX 74
	SYAGRUS ROMANZOFFIANUM	QUEEN PALM	12" CLR APICAL MERI-STEM 10 AL: BRINNEA ARMATA WHITE NOTED ON PLANS

GROUNDCOVERS AND SHRUBS (MAX. 2'-0" @ MATURITY)

	ALOE VERA	1 GALLON	539
	ASPARAGUS DENSIFLORUS	1 GALLON	159
	ARTEMISIA LUDOVICIANA	1 GALLON	122
	ARTEMISIA GRACILIFLORA	1 GALLON	25
	CARISSA GRANDIFLORA	1 GALLON	131
	CARISSA GRANDIFLORA BEAUTY	1 GALLON	159
	CARISSA GRANDIFLORA GREEN CARPET	1 GALLON	121
	CURPEA HYSSOPIFOLIA	1 GALLON	21
	LYCOORIS RADATA	1 GALLON	134
	PORTULACARIA AFRA	1 GALLON	90
	VIOLA ODORATA	1 GALLON	314
	WEDELIA BIFLORA	1 GALLON	21
	ZEPHYRANTHES CANDIDA	1 GALLON	125

SHRUBS (MAX. 3'-0" @ MATURITY)

	CYMBOPOGON CITRATUS	LEMONGRASS	1 GALLON	200
	YUCCA WHIPPLEI	OUR LORD'S CANDLE	1 GALLON	46

LARGE SHRUBS (+3'-0')

	BABELIA ALBA	MALABAR SPIRITCH	1 GALLON	22
	HESPERALOE PARVIFLORA	RED YUCCA	1 GALLON	68
	PHYLLOSTACHYS AUREA	GOLDEN BAMBOO	1 GALLON	30
	PLINIA CAULIFLORA	JABUTICABA	1 GALLON	13

VINES

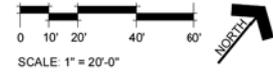
	BOUGAINVILLEA SPP.	BOUGAINVILLEA	1 GALLON	26
	JASMINUM OFFICINALE	JASMINE	1 GALLON	25
	TRACHELOSPERUM	STAR JASMINE	1 GALLON	14
	JASMINODES	LADY BANKS ROSE	1 GALLON	40
	ROSA BANKSAE			

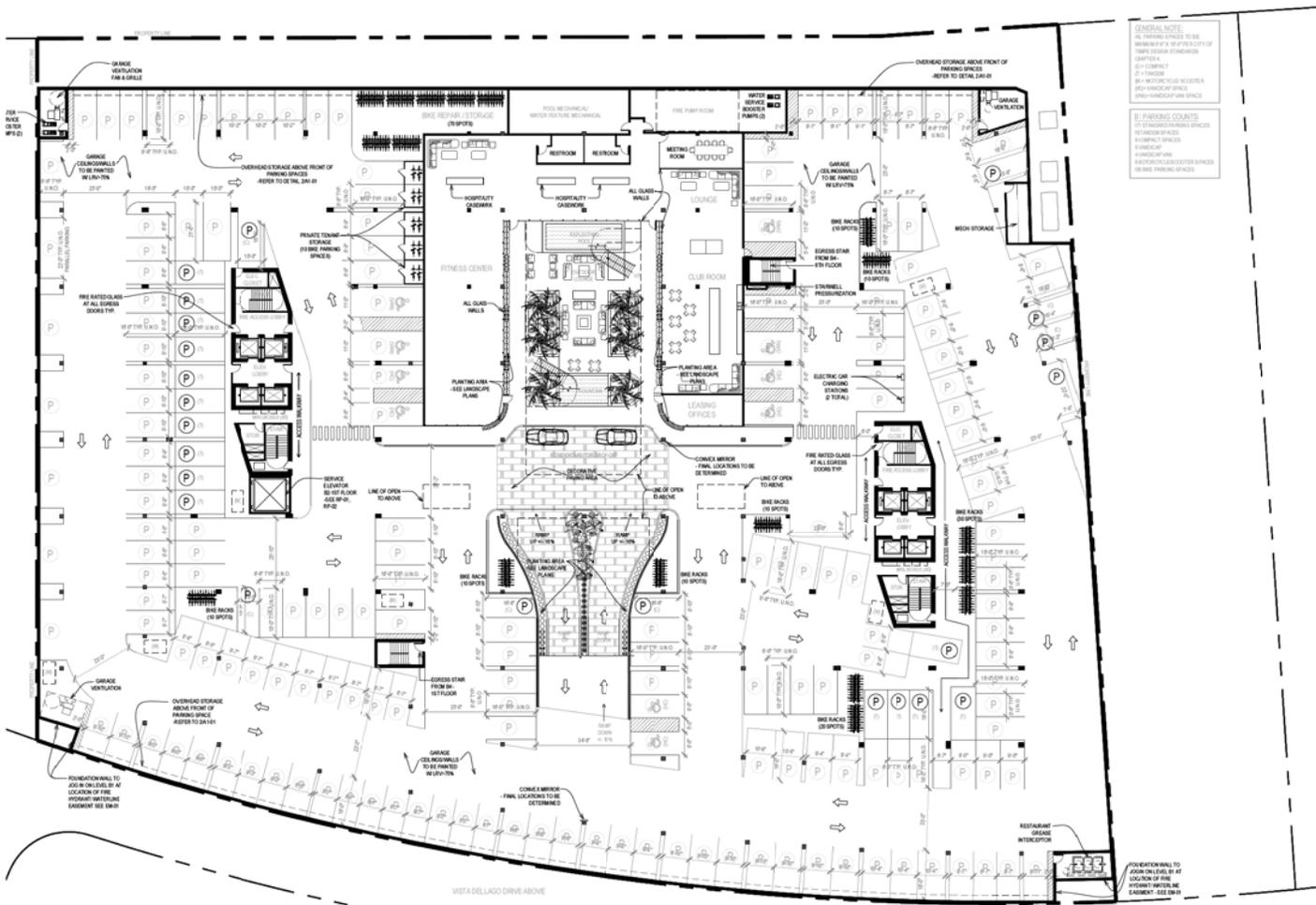
ANNUALS

	TAGETES ERECTA	AMERICAN MARIGOLD	1 GALLON	696.53 S.F.
	VIOLA TRICOLOR SUBSP. TRICOLOR	PANSY	1 GALLON	

TOWN LAKE LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	QTY.
	MUHLENBERGIA CAPILLARIS	REGAL MIST	5 GALLON 4,378.02 S.F. / 486
	MUHLENBERGIA RIGIDA	NASHVILLE	5 GALLON 4,096.0 S.F. / 1,520
	TURF - AS SPECIFIED BY PLANS AND REC.		500 8,033.14 S.F.

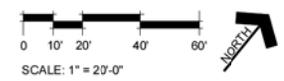


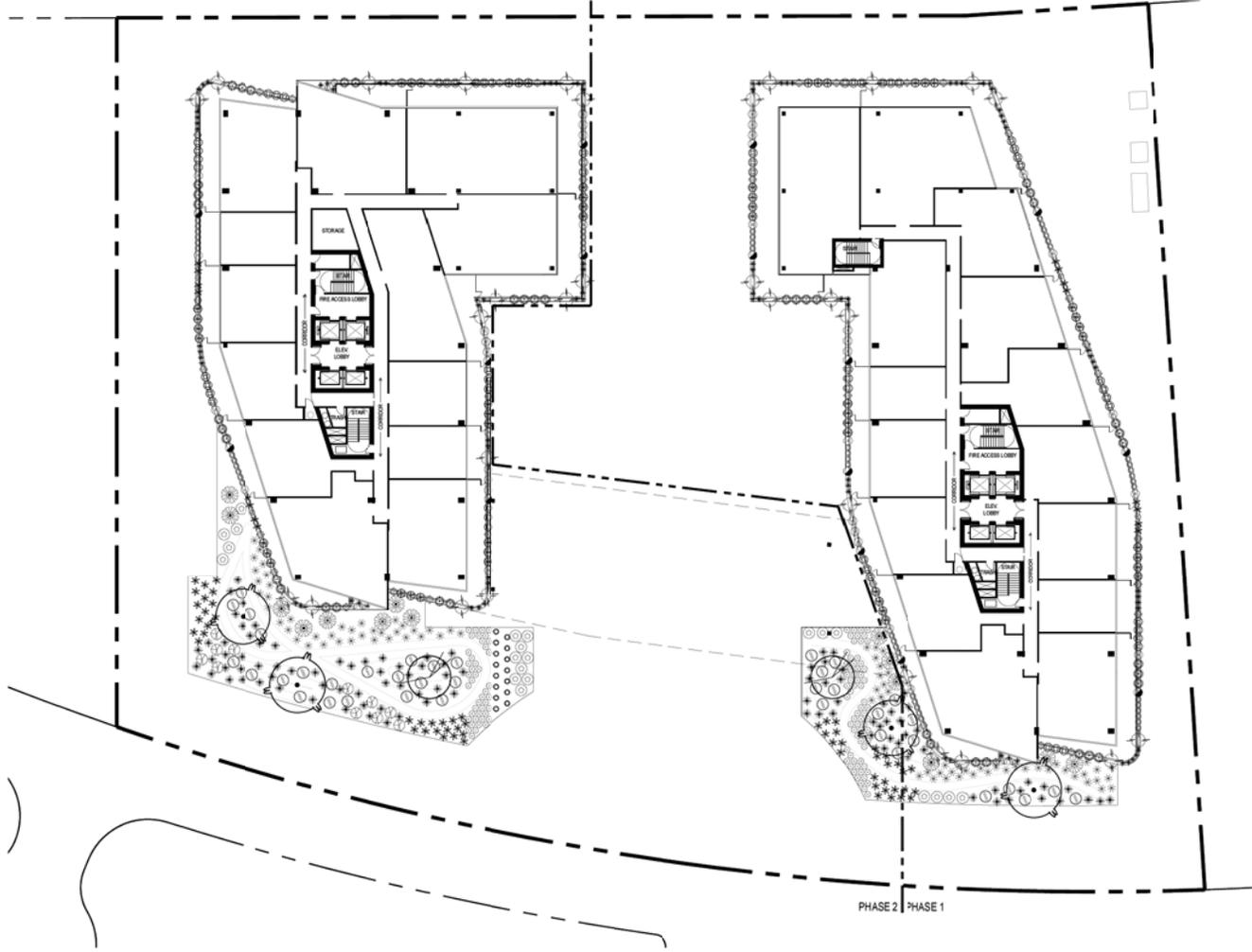


B1 FLOOR LANDSCAPE LEGEND SEE L1.7 FOR MASTER LANDSCAPE LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	QTY.
TREES			
PHOENIX DACTYLIFERA	DATE PALM	24"Ø BOX	6
CYCAS REVOLUTA	SAGO PALM	24"Ø BOX	28
GROUNDCOVERS AND SHRUBS (MAX 2'-0" @ MATURITY)			
ASPARAGUS DENSIFLORUS	MYERS ASPARAGUS	1 GALLON	34
CHARISMA GRANDIFLORA	NATAL PLUM 'FRANCY'	1 GALLON	82
LYCORIS RADATA	SPIDER LILLY	1 GALLON	84
LARGE SHRUBS (+3'-0")			
PHYLLOSTACHYS AUREA	GOLDEN BAMBOO	1 GALLON	14
VINES			
JASMINUM OFFICINALE	JASMINE	1 GALLON	43
ANNUALS			
TADEUS ERRECTA	AMERICAN MARRIGOLD	1 GALLON	41.38 S.F.
VIOLA TRICOLOR SUBSP. TRICOLOR	PANSY	1 GALLON	

GENERAL NOTE:
 1. PARKING SPACES TO BE MAINTAINED TO A MINIMUM OF 10' CLEARANCE FROM CURB AND 10' CLEARANCE FROM ADJACENT BUILDING.
 2. BIKE RACKS TO BE INSTALLED IN ALL PARKING SPACES.
 3. BIKE RACKS TO BE INSTALLED IN ALL PARKING SPACES.
 4. BIKE RACKS TO BE INSTALLED IN ALL PARKING SPACES.
 5. BIKE RACKS TO BE INSTALLED IN ALL PARKING SPACES.

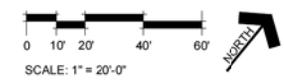




PHASE 2 PHASE 1

2ND FLOOR LANDSCAPE LEGEND SEE L17 FOR MASTER LANDSCAPE LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	QTY.
TREES			
EBENOPSIS EBAYO	TEXAS EBONY	24"Ø BOX	2
PARKINSONIA FLORIDA	BLUE PALM VERDE	24"Ø BOX	4
GROUNDCOVERS AND SHRUBS (MAX. 2'-0" @ MATURITY)			
ARTEMESIA LUDOUICIANA	WHITE SAGE	1 GALLON	56
CARISSA GRANDIFLORA	NATAL PLUM FANCY	1 GALLON	18
CUPHEA HYSSOPIFOLIA	MEXICAN HEATHER	1 GALLON	52
DALEA GREGGII	TRAILING REDDO BUSH	1 GALLON	38
LANTANA MORTEVIDENSIS	PURPLE LANTANA	1 GALLON	16
PORTULACARIA AFRA	ELEPHANT FOOT	1 GALLON	28
ROSMARINUS OFFICINALIS	CREEPING ROSEMARY	1 GALLON	15
PROSTRATUS			
WEDELIA BIFLORA	MELANTHERA	1 GALLON	72
SHRUBS (MAX. 3'-0" @ MATURITY)			
AGAVE PARRYII	PARRY'S AGAVE	1 GALLON	187
CYBISPOON CITRATUS	LEMONGRASS	1 GALLON	51
ECHINOCACTUS GRUSONI	GOLDEN BARREL	1 GALLON	109
MULLENBERGIA RIGIDA	NASHVILLE	1 GALLON	82
YUCCA WHIPPLEI	OUR LORDS CANDLE	1 GALLON	75
LARGE SHRUBS (+3'-0")			
DASYLIRION WHEELERI	DESERT SPOON	1 GALLON	41
EPILOBIUM DANUM	CALIFORNIA FUCHSIA	1 GALLON	21
FEROCACTUS WISLIZENI	FISHHOOK BARREL	1 GALLON	15
OPUNTIA FICUS-INDICA	PRICKLY PEAR CACTUS	1 GALLON	14
VINES			
BOUGHNVILLEA SPP.	BOUGHNVILLEA	1 GALLON	30



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SEAL OF THE ARIZONA REGISTERED PROFESSIONAL LANDSCAPE ARCHITECTS
 EXP. DATE: 09/30/2017

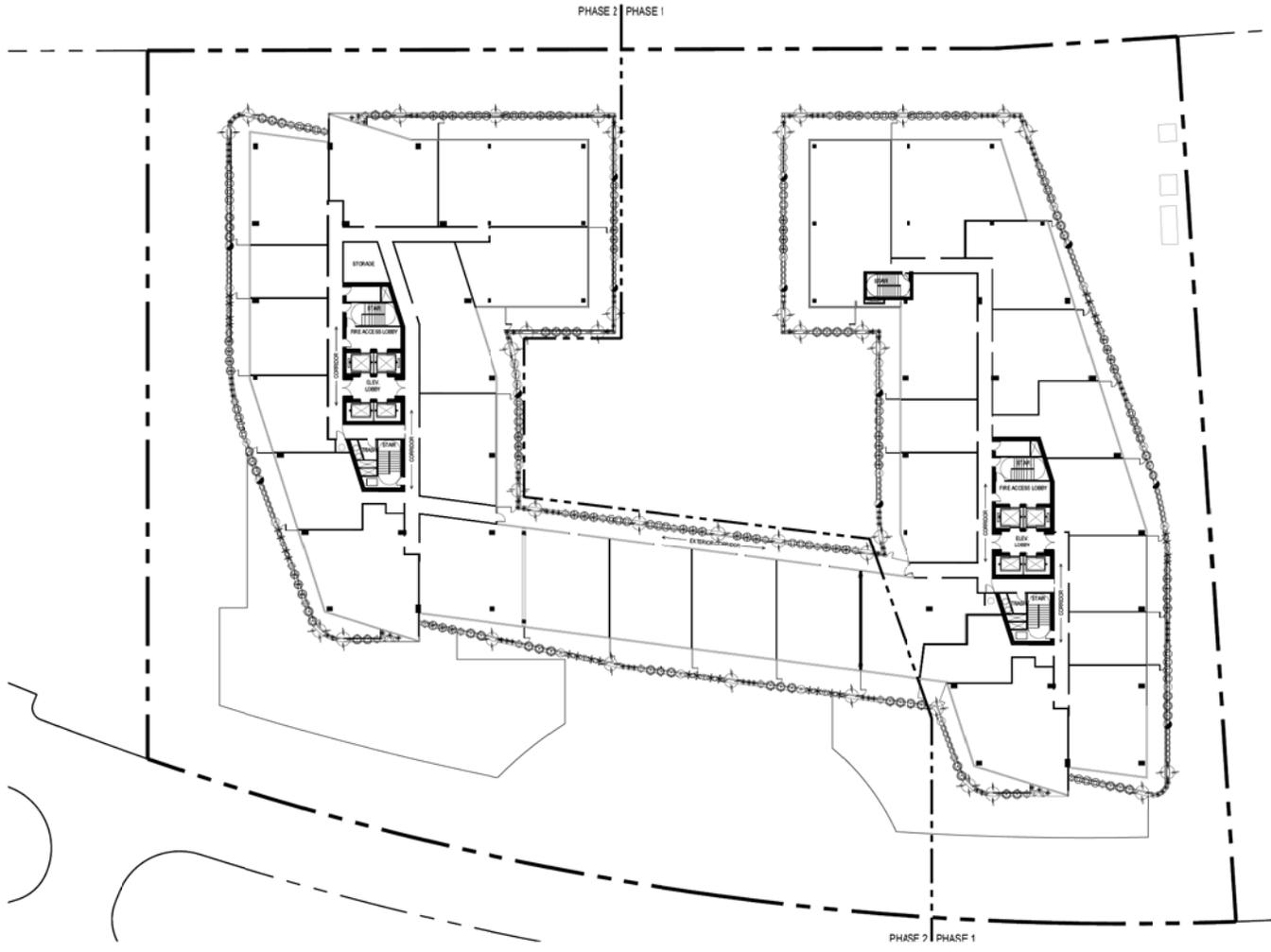
PRELIMINARY SITE PLAN SUBMITTAL

The PIER
 LOT 5
 APN: 132-32-019
 TEMPE, ARIZONA, 85281
 Issue Date: SEPT. 8TH, 2015

PRELIMINARY LANDSCAPE PLAN
 2ND FLOOR

Sheet No. **L13**

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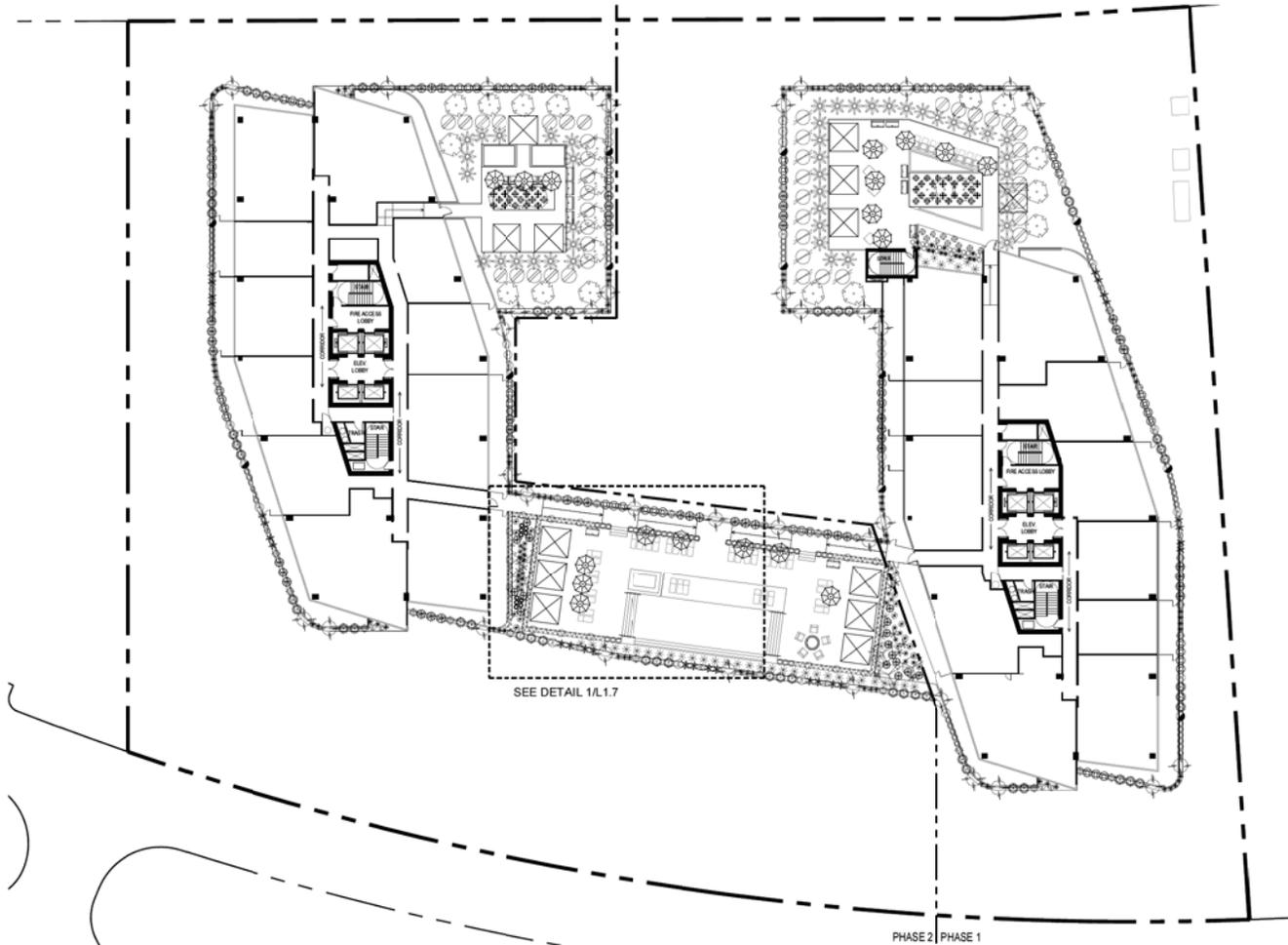


3RD-5TH FLOOR LANDSCAPE LEGEND SEE L17 FOR MASTER LANDSCAPE LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	QTY.
GROUNDCOVERS AND SHRUBS (MAX. 2'-0" @ MATURITY)			
⊕ ARTEMISA LUDOVICIANA	WHITE SAGE	1 GALLON	59
⊕ CARISSA GRANDIFLORA	NATAL PLUM FANCY	1 GALLON	12
⊕ CUPHEA HYSSOPOLIA	MEXICAN HEATHER	1 GALLON	57
⊕ LANTANA MONTEVIDENSIS	PURPLE LANTANA	1 GALLON	17
⊕ FORTULACARIA AFRA	ELEPHANT FOOT	1 GALLON	12
⊕ ROSMARRINUS OFFICINALIS	CREEPING ROSEMARY	1 GALLON	12
⊕ PROSTRATUS			
⊕ WEDELIA BIFLORA	MELANTHERA	1 GALLON	44
SHRUBS (MAX. 3'-0" @ MATURITY)			
⊕ AGAVE PARRYI	PARRY'S AGAVE	1 GALLON	103
⊕ CYMBOPOGON CITRATUS	LEMONGRASS	1 GALLON	47
⊕ YUCCA WHIPPLEI	OUR LORD'S CANDLE	1 GALLON	28
LARGE SHRUBS (+3'-0")			
⊕ DASYLIRION WHEELERI	DESERT SPOON	1 GALLON	54
VINES			
⊕ BOUGHAINVILLEA SPP.	BOUGHVILLEA	1 GALLON	37

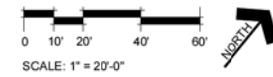


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6TH FLOOR LANDSCAPE LEGEND SEE L17 FOR MASTER LANDSCAPE LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	QTY.
GROUNDCOVERS AND SHRUBS (MAX. 2'-0" @ MATURITY)			
☼	ALOE VERA	ALOE VERA	1 GALLON 21
⊕	ARTEMESIA LUDOVICIANA	WHITE SAGE	1 GALLON 99
⊕	CARISSA GRANDIFLORA	NATAL PLUM 'FANCY'	1 GALLON 12
⊕	CUPHEA HYSSOPIOLIA	MEXICAN HEATHER	1 GALLON 73
⊕	LANTANA MONTEVIDENSIS	PURPLE LANTANA	1 GALLON 17
⊕	LYCORNIS RADATA	SPIRDER LULLY	1 GALLON 15
⊕	PORTULACARIA AFRA	ELEPHANT FOOT	1 GALLON 12
⊕	ROSMARINUS OFFICINALIS	CREEPING ROSEMARY	1 GALLON 12
⊕	TRICOSTRATIS	SWEET VIOLA	1 GALLON 57
⊕	VIOLA ODORATA	SWEET VIOLA	1 GALLON 57
⊕	WEDELIA BIFLORA	MELANTHERA	1 GALLON 44
SHRUBS (MAX. 3'-0" @ MATURITY)			
☼	AGAVE PARRYI	PARRYI'S AGAVE	1 GALLON 121
☼	CYNODON DACTYLON	LEMONGRASS	1 GALLON 85
☼	MUNLEBERGIA RIGIDA	NASHVILLE	1 GALLON 48
☼	TARGETES LUCIDA	MEXICAN TARRAGON	1 GALLON 10
☼	YUCCA WHIPPLEI	OUR LORD'S CANDLE	1 GALLON 37
LARGE SHRUBS (+3'-0")			
☼	BASELLA ALBA	MALABAR SPINACH	1 GALLON 48
☼	DASYLIRION WHEELERI	DESERT SPOON	1 GALLON 54
☼	LYCUM BARBARUM	WOLFBERRY	1 GALLON 3
☼	MALPIGHIA EMARGINATA	BARBADOS CHERRY	1 GALLON 19
☼	PIEUM CATTLESLANIM	STRAWBERRY GUAVA	1 GALLON 28
☼	PLINA CAULIFLORA	JABUTICABA	1 GALLON 21
VINES			
☼	BOUGHAINVILLEA SPP.	BOUGHAINVILLEA	1 GALLON 37
ANNUALS			
☼	IPOMOEA BATATAS	SWEET POTATO VINE	1 GALLON 23
☼	PENTUNA X HYBRIDA	WAVE PETUNIA	1 GALLON 1
☼	PORTULACA OLERACEA	PURSLANE	1 GALLON 10



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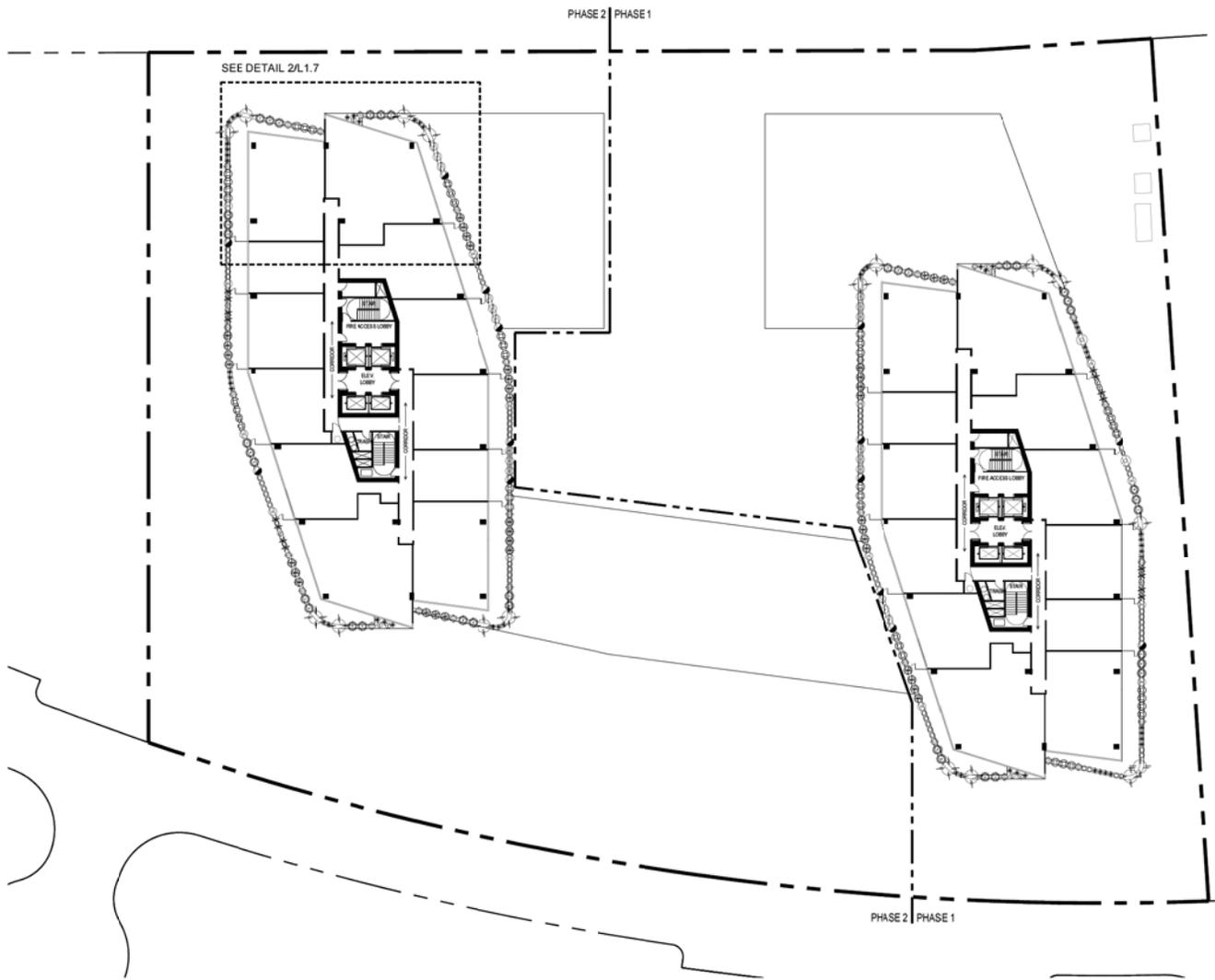
PRELIMINARY SITE PLAN SUBMITTAL

The PIER

LOT 5
APN: 132-32-019
TEMPE, ARIZONA, 85281
Issue Date: SEPT. 8TH, 2015

PRELIMINARY LANDSCAPE PLAN
6TH FLOOR

Sheet No. L15



7TH - 22ND FLOOR LANDSCAPE LEGEND SEE L17 FOR MASTER LANDSCAPE LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	QTY.
GROUNDCOVERS AND SHRUBS (MAX. 2'-0" @ MATURITY)			
⊕ ARTEMESIA LUDOUICIANA	WHITE SAGE	1 GALLON	40
⊕ CARISSA GRANDIFLORA	NATAL PLUM "FANCY"	1 GALLON	18
⊕ CARISSA GRANDIFLORA	NATAL PLUM "GREEN CARPET"	1 GALLON	2
⊕ CUPHEA HYSSOROLIA	MEXICAN HEATHER	1 GALLON	37
⊕ LANTANA MONTEVIDENSIS	PURPLE LANTANA	1 GALLON	14
⊕ FORTULICARIA AFRA	ELEPHANT FOOT	1 GALLON	12
⊕ ROSMARINUS OFFICINALIS "PROSTRATUS"	CREeping ROSEMARY	1 GALLON	14
⊕ WEDDIA BIFLORA	MELANTHERA	1 GALLON	30
SHRUBS (MAX. 3'-0" @ MATURITY)			
⊕ AGAVE PARURI	PARRY'S AGAVE	1 GALLON	58
⊕ CYMODOPODON CITRATUS	LEMONGRASS	1 GALLON	57
⊕ YUCCA WHIPPLEI	OUR LORD'S CANDLE	1 GALLON	16
LARGE SHRUBS (4'-0")			
⊕ DASYLIRON WHEELERI	DESERT SPOON	1 GALLON	38
VINES			
⊕ BOUGAINVILLEA SPP.	BOUGAINVILLEA	1 GALLON	17



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PRELIMINARY SITE PLAN SUBMITTAL

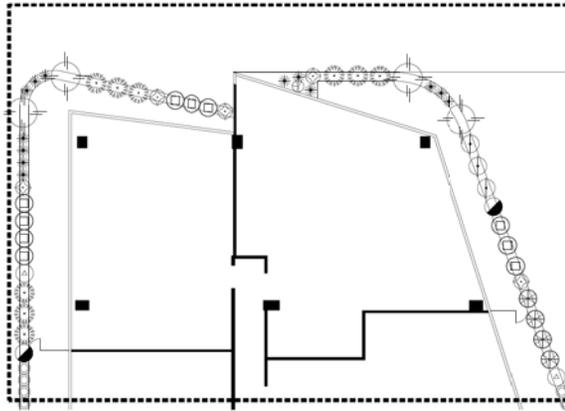
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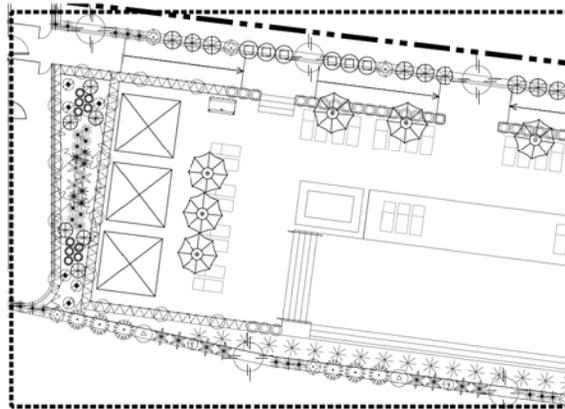
PRELIMINARY
LANDSCAPE PLAN
7TH-22ND FLOOR

LOT 5
APN: 132-32-019
TEMPE, ARIZONA, 85281
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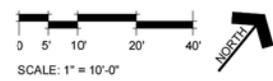
Sheet No. **L1.6**



2 ENLARGE TYP. PLANTER AT 7TH FLOOR
SCALE: 1" = 12"



1 ENLARGE TYP. PLANTER AT 6TH FLOOR
SCALE: 1" = 12"



SCALE: 1" = 10'-0"

MASTER LANDSCAPE LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	QTY
TREES			
BALHINA LUNARIOIDES (B. CONGESTA)	ANACACHO ORCHID	24" BOX	-
RSTACIA RED PUSH	RED PUSH	48" BOX	9
CITRUS RETICULATA 'CLEMENTINE'	MANDARIN ORANGE	24" BOX	-
EBENOPSIS EBANO	TEXAS EBONY	24" BOX	2
FIGUS MICROCARPA NITIDA	INDIAN LAMBLE FIG	24" BOX	-
MORINGA OLEIFERA LAMK	MALUNGGAY	24" BOX	-
FIGUS BENAMINA	WEeping FIG	24" BOX	15
PROSOPIS VELUTINA	NATIVE MESQUITE	24" BOX	3
CORDIA BOSSIERI	TEXAS OLIVE	24" BOX	25
TRACHYCARPUS FORTUNEI	WINDMILL PALM	24" BOX	3
PHENOL DACTYLIFERA MEDJOL	DATE PALM	18" CLR APICAL MERSTEM	10
CYCAS REVOLUTA	SAGO PALM	24" BOX	109
SYAGRUS ROMANOFFIANUM	QUEEN PALM	12" CLR APICAL MERSTEM	10
GROUNDCOVERS AND SHRUBS (MAX. 2'-0" @ MATURITY)			
ALLIUM SCHWENOPRASMUM	CYRUS	1 GALLON	-
ALOE VERA	ALOE VERA	1 GALLON	405
ASPARAGUS DENSIFLORUS	MYERS ASPARAGUS	1 GALLON	203
ARTEMESIA LUDOLVICIANA	WHITE SAGE	1 GALLON	319
ARTEMESIA GRACILICULUS	FRENCH TURRAGON	1 GALLON	25
CARISSA GRANDIFLORA	NATAL PLUM 'BOXWOOD BEAUTY'	1 GALLON	131
CARISSA GRANDIFLORA	NATAL PLUM 'FANCY'	1 GALLON	202
CARISSA GRANDIFLORA	NATAL PLUM	1 GALLON	-
CARISSA GRANDIFLORA	NATAL PLUM	1 GALLON	123
CURPEA HYSSORHOLA	'GREEN CURRY'	1 GALLON	240
DALEA GREGGII	MEXICAN HEATHER	1 GALLON	38
EROGONUM FASCICULATUM	TRAILING INDIGO BUSH	1 GALLON	-
HEMERICALLIS	FLATTOP BUCKWEAT	1 GALLON	-
HIBISCUS DENIGATUS	DAYLILY	1 GALLON	-
HIBISCUS ROSA-SINENSIS	PALEFACE ROSE MALLOW	1 GALLON	-
IRIS HYBRIDA	HYBISCUS	1 GALLON	-
IRIS HYBRIDA	BEARDED IRIS	1 GALLON	134
LANTANA MONTEVIDENSIS	PURPLE LANTANA	1 GALLON	64
LYCORIS RADATA	SPIDER LILY	1 GALLON	99
PORTULACARIA AFRA	ELEPHANTFOOD	1 GALLON	34
ROSEMARINUS OFFICINALIS 'PROSTRATUS'	CREPENTICORMARY	1 GALLON	53
VIOLA COORATA	SWEET VIOA	1 GALLON	144
WEDELIA BIFLORA	MELANTHERA	1 GALLON	258
ZEPHYRANTHES CANDIDA	RAIN LILY	1 GALLON	45
SHRUBS (MAX. 3'-0" @ MATURITY)			
AGAVE PARRYI	PARRYYS AGAVE	1 GALLON	409
CARISSA MACROCARPA	NATAL PLUM 'TOMLISON'	1 GALLON	-
CARISSA MACROCARPA	NATAL PLUM 'TURTLE'	1 GALLON	-
CYMOPOGON CITRATUS	LEMONGRASS	1 GALLON	434
DALEA FRUTESCENS	SIERRA NEGRA	1 GALLON	-
ECHINOCACTUS GRUSONI	GOLDEN BARREL	1 GALLON	109
LONCERIS X HEDYOTTII	FLAME KETCHUPKLE	1 GALLON	-
MUNLENBERGIA RIGIDA	NASHVILLE	1 GALLON	130
TAGETES ERRECTA	AMERICAN MARI GOLD	1 GALLON	-
TAGETES LUCIDA	MEXICAN MARRAGON	1 GALLON	10
SPHAERALCEA AMBIGUA	DESERT MALLOW	1 GALLON	-
YUCCA WHIPPLEI	OUR LORDES CANDLE	1 GALLON	132
LARGE SHRUBS (+3'-0")			
BASELIA ALBA	MALABAR SPINACH	1 GALLON	70
CAESALPINA MEXICANA	MEXICAN BRD OF PARADISE	1 GALLON	-
DASYLIRON WHEELERI	DESERT SPOON	1 GALLON	157
EPILOBUM CANUM	CALIFORNIA FUCHSIA	1 GALLON	21
FEROCACTUS WILDENI	FISHHOOKBARREL	1 GALLON	15
GARDENIA JASMINOIDES	GARDENIA	1 GALLON	-
HESPERALOE PARVIFLORA	RED YUCCA	1 GALLON	39
LYCUM BARBARUM	LYCBERRY	1 GALLON	3
MALPIGHIA EMARGINATA	BARBADOS CHERRY	1 GALLON	19
OPUNTHA FIGUS-INDICA	PRICKLY PEAR CACTUS	1 GALLON	14
PHYLLISTACHYS ALBERA	GOLDEN BAMBOO	1 GALLON	44
PLUNIA CALIFLORA	JABUTICABA	1 GALLON	13
PSIDIUM CATTLEIANUM	STRAWBERRY GUAVA	1 GALLON	28
VINES			
BOUGAINVILLEA SPP.	BOUGAINVILLEA	1 GALLON	147
JASMINUM OFFICINALE	JASMINE	1 GALLON	102
TRACHELOSPERMUM	STAR JASMINE	1 GALLON	13
JASMINOIDES	JASM	1 GALLON	-
ROSA BANKSIAE	LADY BANKS ROSE	1 GALLON	40
ANNUALS			
IPOMOEA BATATAS	SWEET POTATO VINE	1 GALLON	23
PENTINIA X HYBRIDA	WAVE PETUNIA	1 GALLON	23
PORTULACA OLERACEA	PURSLANE	1 GALLON	10
TAGETES ERRECTA	AMERICAN MARI GOLD	1 GALLON	125.08 S.F.
VIOLA TRICOLOR SUBSP. TRICOLOR	PANSY	1 GALLON	-
TRAILING			
ANTIPHRASUM	SNAPDRAGON	1 GALLON	-
BAJA PASSION VINE	PASSIFLORA FOETIDA V. LONGIPEDUNCULATA	1 GALLON	-
BRASSICA OLERACEA	KALE	1 GALLON	-
CALENDULA OFFICINALIS	CALENDULA	1 GALLON	-
COROPSPIS LANCEOLATA	COREOPSE	1 GALLON	-
LUFFA AEDYPTACA	LOOFAH	1 GALLON	-
MONARDA DIDYMA	SCHALLET BEEBALM	1 GALLON	-
ORIGANUM MAJORANA	MARJORAM	1 GALLON	-
TROPAEOLUM MINOR	NASTURTIUM TRAILING	1 GALLON	-

CONCEPTUAL - NOT FOR CONSTRUCTION

PRELIMINARY SITE PLAN SUBMITTAL

The PIER

15030
Sheet Title

PRELIMINARY LANDSCAPE PLAN ENLARGEMENTS

Sheet No. **L1.7**

the design element
landscape architecture

the design element, plc
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suite 100
phoenix, arizona 85016
ph 602.244.1970
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www.thedesignelement.com



PRELIMINARY SITE PLAN SUBMITTAL

The PIER

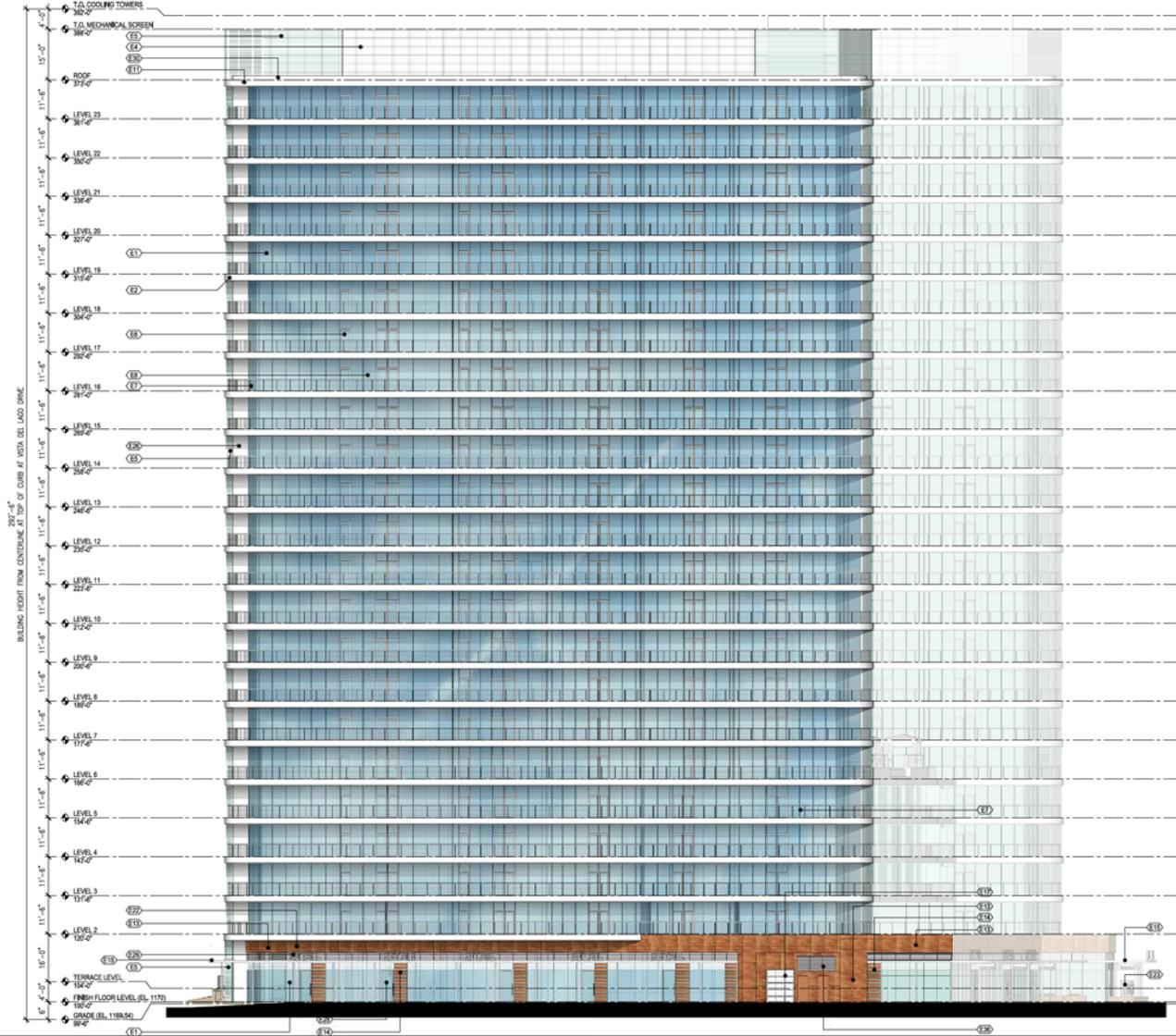
15030
Sheet Title

PRELIMINARY LANDSCAPE PLAN ENLARGEMENTS

Sheet No. **L1.7**

EXTERIOR KEY NOTES:

- (E1) WINDOW SYSTEM WITH BUTT-GLAZED JOINTS WITH LOW GLAZING
- (E2) PLANTER BOX FACING PANELS (TWO, REFER TO BALCONY SECTION A40) (FINISH COLOR - WHITE)
- (E3) SWIMMING POOL WATERFALL EDGE WITH INTEGRATED ILLUMINATED LETTERING.
- (E4) METAL GRATING MECHANICAL SCREEN ON STEEL FRAMING (FINISH: WHITE PAINTED)
- (E5) WINDOW SYSTEM WITH BUTT-GLAZED JOINTS WITH FRITTED GLASS
- (E6) FULL-GLAZED ALUMINUM SWINGING TERRACE DOOR IN ALUMINUM FRAME WITH FIXED TRANSOM WINDOW ABOVE. (FINISH: CLEAR ANODIZED)
- (E7) HORIZONTAL GUARDRAIL SYSTEM (REFER TO SECTION)
- (E8) TRANSLUCENT GLASS BALCONY ENDELS WITH LOCKABLE OPERABLE PORTION FOR BALCONY PLANTER BOX MAINTENANCE
- (E9) GREEN ROOF
- (E10) OPTIONAL ROOFTOP POOL TERRACE
- (E11) SLAB EDGE FACING TO MATCH BALCONY PLANTER BOX FACING MATERIAL (FINISH COLOR: WHITE)
- (E12) COLORED CAST IN PLACE CONCRETE - COLOR TO MATCH MATERIAL E10
- (E13) SANDSTONE WALL PANELS - JOINTING TO ALIGN WITH WINDOW SYSTEM MULLIONS
- (E14) SANDSTONE WALL PANELS ON ALUMINUM ATTACHMENT SYSTEM COVER OCCURED GLAZING. SEE SECTION ON SHEET A44.
- (E15) STEEL FRAMED CANOPY SYSTEM (FINISH: PAINTED WHITE)
- (E16) 2" HIGH STONE CAP WITH DRIP EDGE
- (E17) ALUMINUM FRAME & POLYCARBONATE OVERHEAD GARAGE DOOR (FINISH: ANODIZED ALUMINUM)
- (E18) CAST IN PLACE CONCRETE COLUMN (FINISH: PAINT)
- (E19) SANDSTONE CLAD PLANTER BOX WITH STONE CAP.
- (E20) TEMPERED GLASS FENCE WITH ALUMINUM FRAMED ACCESS GATES (FINISH: PER PLAN)
- (E21) CAST IN PLACE COLORED CONCRETE STEPS / RAMP (FINISH: BROOK COLOR TO RESSEMBLE NATURAL E10)
- (E22) 30" HIGH ILLUMINATED RETAIL LETTERING - T10
- (E23) MONUMENT SIGN WITH 4" HIGH ILLUMINATED LETTERING
- (E24) STEEL HEADER (FINISH: PAINTED WHITE)
- (E25) 10'-0" HIGH SIDE FOLDING GLASS PARTITIONS (FRAME FINISH: CLEAR ANODIZED)
- (E26) SYNTHETIC STUCCO FINISH SYSTEM
- (E27) MECHANICAL COOLING TOWERS
- (E28) FULL-GLAZED ALUMINUM SWINGING STOREFRONT DOOR #1 ALUMINUM WINDOW SYSTEM FRAME. (FINISH: CLEAR ANODIZED)
- (E29) EXTERIOR HORIZONTAL LOUVER SYSTEM (FINISH: ANODIZED ALUMINUM)
- (E30) ROOF PARAPET TO CONCEAL PV PANELS TO MATCH MATERIAL E2
- (E31) BLADE RETAIL SIGN
- (E32) FCC & BREATHING AIR RETAIL PANEL LOCATION, SEE SHEET F04-01
- (E33) EXTERIOR SWAGEE STANDPIPE CONNECTION, SEE SHEET F04-01
- (E34) CASINA TYP.
- (E35) FRITTED TEMPERED GLASS FENCE WITH ALUMINUM FRAMED ACCESS GATES (FINISH: PER PLAN)
- (E36) PROPOSED LOCATION OF GENERATOR EXHAUST LOUVER - (FINISH: ANODIZED ALUMINUM)



APPROVED 1/28/16

***(Subject to 2016 PAD amendment revisions)**

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 754 North Central Avenue, Suite 2000
 Phoenix, AZ 85004

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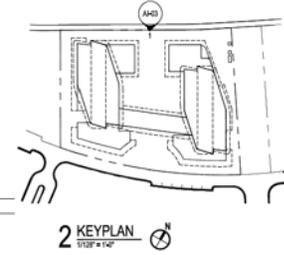
LOT 5
 APN: 319-32-019
 TEMPE, ARIZONA, 85281
 Issue Date: OCTOBER 19, 2015

RCA Project No. 150407.01
 Sheet Title
COLOR EXTERIOR ELEVATIONS

Sheet No. **A3-02**

EXTERIOR KEY NOTES:

- (E1) WINDOW SYSTEM WITH BUTT-GLAZED JOINTS WITH LOW GLAZING
- (E2) PLANTER BOX FACING PANELS (TBD, REFER TO BALCONY SECTION A403 (FINISH COLOR - WHITE)
- (E3) SWIRLING POOL WATERFALL EDGE WITH INTEGRATED ILLUMINATED LETTERING.
- (E4) METAL GRATING MECHANICAL SCREEN ON STEEL FRAMING (FINISH: WHITE PAINT)
- (E5) WINDOW SYSTEM WITH BUTT-GLAZED JOINTS WITH FRITTED GLASS
- (E6) FULL-GLAZED ALUMINUM SWINGING TERRACE DOOR IN ALUMINUM FRAME WITH FIXED TRANSOM WINDOW ABOVE. (FINISH: CLEAR ANODIZED)
- (E7) HORIZONTAL GUARDRAIL SYSTEM (REFER TO SECTION)
- (E8) TRANSLUCENT GLASS BALCONY ENDESK WITH LOCKABLE OPERABLE PORTION FOR BALCONY PLANTER BOX MAINTENANCE
- (E9) GREEN ROOF
- (E10) OPTIONAL ROOFTOP POOL TERRACE
- (E11) SLAB EDGE FACING TO MATCH BALCONY PLANTER BOX FACING MATERIAL (FINISH COLOR: WHITE)
- (E12) COLORED CAST IN PLACE CONCRETE - COLOR TO MATCH MATERIAL E10
- (E13) SANDSTONE WALL PANELS - JOINTING TO ALIGN WITH WINDOW SYSTEM MULLIONS
- (E14) SANDSTONE WALL PANELS ON ALUMINUM ATTACHMENT SYSTEM COVER OCCURE GUARDRAIL. SEE SECTION ON SHEET A403.
- (E15) STEEL FRAMED CANOPY SYSTEM. (FINISH: PAINTED WHITE)
- (E16) 2" HIGH STONE CAP WITH DRIP EDGE
- (E17) ALUMINUM FRAME & POLYCARBONATE OVERHEAD GARAGE DOOR (FINISH: ANODIZED ALUMINUM)
- (E18) CAST IN PLACE CONCRETE COLUMN (FINISH: PAINT)
- (E19) SANDSTONE CLAD PLANTER BOX WITH STONE CAP.
- (E20) TEMPERED GLASS FENCE WITH ALUMINUM FRAMED ACCESS GATES (FINISH: PER PLAN)
- (E21) CAST IN PLACE COLORED CONCRETE STEPS / RAMP (FINISH: BROOK COLOR TO RESSEMBLE MATERIAL E10)
- (E22) 30" HIGH ILLUMINATED RETAIL LETTERING - TBD
- (E23) MONUMENT SIGN WITH 4" HIGH ILLUMINATED LETTERING
- (E24) STEEL HEADER (FINISH: PAINTED WHITE)
- (E25) 10'-0" HIGH SIDE FOLDING GLASS PARTITIONS (FRAME FINISH: CLEAR ANODIZED)
- (E26) SYNTHETIC STUCCO FINISH SYSTEM
- (E27) MECHANICAL COOLING TOWERS
- (E28) FULL-GLAZED ALUMINUM SWINGING STOREFRONT DOOR IN ALUMINUM WINDOW SYSTEM FRAME. (FINISH: CLEAR ANODIZED)
- (E29) EXTERIOR HORIZONTAL LOUVER SYSTEM (FINISH: ANODIZED ALUMINUM)
- (E30) ROOF PARAPET TO CONCEAL PV PANELS TO MATCH MATERIAL E2
- (E31) BLADE RETAIL SIGN
- (E32) FCC & BREATHING AIR RETAIL PANEL LOCATION, SEE SHEET FDA-01
- (E33) EXTERIOR SWAGGE STANDPIPE CONNECTION, SEE SHEET FDA-01
- (E34) CABANA TYP.
- (E35) FRITTED TEMPERED GLASS FENCE WITH ALUMINUM FRAMED ACCESS GATES (FINISH: PER PLAN)
- (E36) PROPOSED LOCATION OF GENERATOR EXHAUST LOUVER - (FINISH: ANODIZED ALUMINUM)



APPROVED 1/28/16

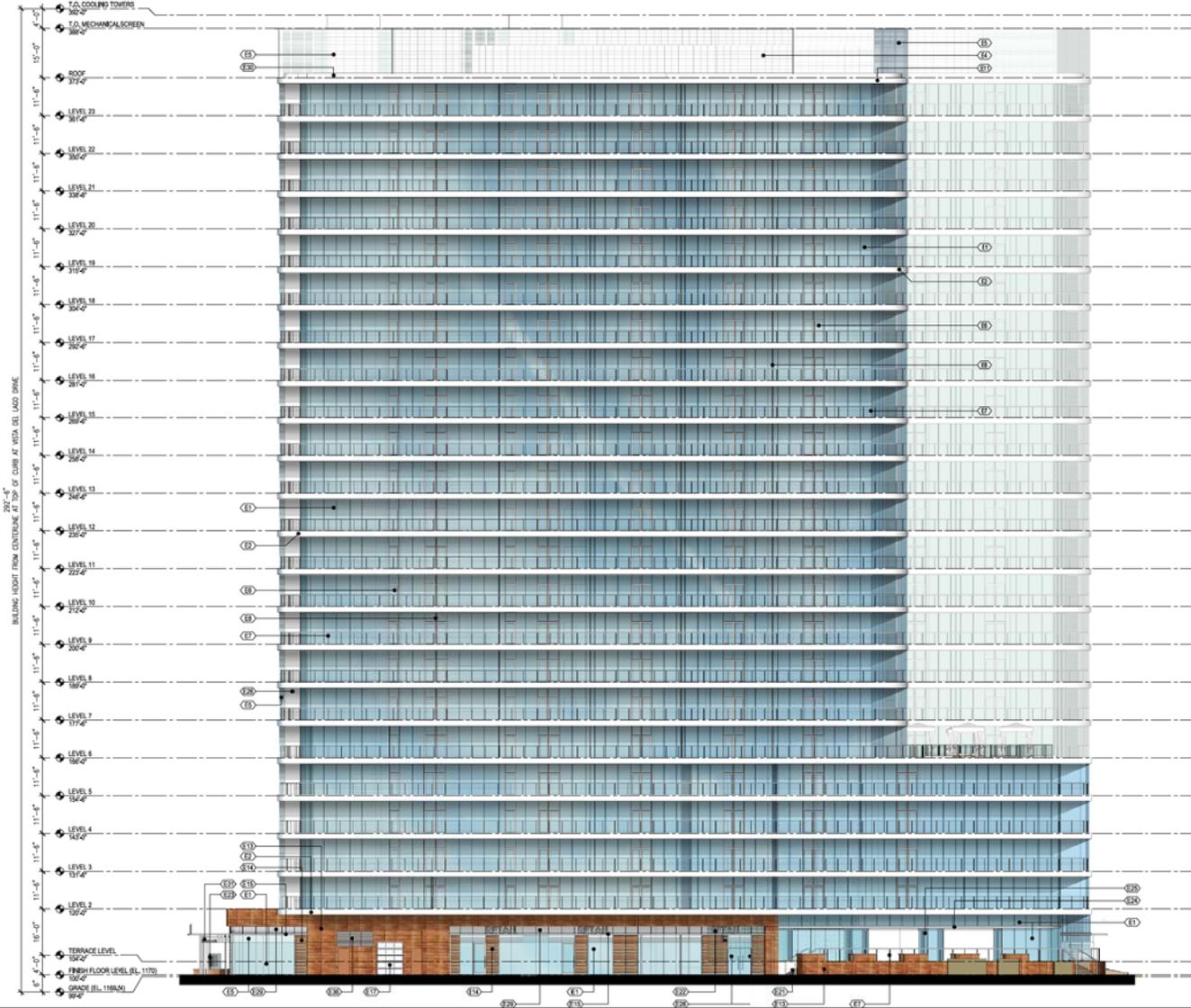
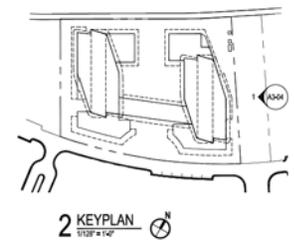
*(Subject to 2016 PAD amendment revisions)

1 NORTH ELEVATION
1/2" = 1'-0"

CONCEPTUAL - NOT FOR CONSTRUCTION

EXTERIOR KEY NOTES:

- (E1) WINDOW SYSTEM WITH BUTT-GLAZED JOINTS WITH LOW-E GLAZING
- (E2) PLANTER BOX FACING PANELS (TWO, REFER TO BALCONY SECTION A40) (FINISH COLOR- WHITE)
- (E3) SWIMMING POOL WATERFALL EDGE WITH INTEGRATED ILLUMINATED LETTERING.
- (E4) METAL CLADDING MECHANICAL SCREEN ON STEEL FRAMING (FINISH: WHITE PAINTED)
- (E5) WINDOW SYSTEM WITH BUTT-GLAZED JOINTS WITH FRITTED GLASS
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- (E7) HORIZONTAL GUARDRAIL SYSTEM (REFER TO SECTION)
- (E8) TRAVELLER-GUARD GLASS BALCONY ENDS WITH LOCKABLE OPERABLE PORTION FOR BALCONY PLANTER BOX MAINTENANCE
- (E9) GREEN ROOF
- (E10) OPTIONAL ROOFTOP POOL TERRACE
- (E11) SLAB EDGE FACING TO MATCH BALCONY PLANTER BOX FACING MATERIAL (FINISH COLOR: WHITE)
- (E12) COLORED CAST-IN PLACE CONCRETE - COLOR TO MATCH MATERIAL E13
- (E13) SANDSTONE WALL PANELS - JOINTING TO ALIGN WITH WINDOW SYSTEM MULLIONS
- (E14) SANDSTONE WALL PANELS ON ALUMINUM ATTACHMENT SYSTEM COVER OCCURRENCE ONLY. SEE SECTION ON SHEET A41-1
- (E15) STEEL FRAMED CANOPY SYSTEM. (FINISH: PAINTED WHITE)
- (E16) 2" HIGH STONE CAP WITH DRIP EDGE
- (E17) ALUMINUM FRAME & POLYCARBONATE OVERHEAD GARAGE DOOR (FINISH: ANODIZED ALUMINUM)
- (E18) CAST-IN PLACE CONCRETE COLUMN (FINISH: PAINT)
- (E19) SANDSTONE CLAD PLANTER BOX WITH STONE CAP.
- (E20) TEMPERED GLASS FENCE WITH ALUMINUM FRAMED ACCESS GATES (FINISH: PER PLAN)
- (E21) CAST-IN PLACE COLORED CONCRETE STEPS / RAMP (FINISH: BROOK COLOR TO RESSEMBLE NATURAL E13)
- (E22) 30" HIGH ILLUMINATED RETAIL LETTERING - T10
- (E23) MONUMENT SIGN WITH 4" HIGH ILLUMINATED LETTERING
- (E24) STEEL HEADER (FINISH: PAINTED WHITE)
- (E25) 10'-0" HIGH SIDE FOLDING GLASS PARTITIONS (FRAME FINISH: CLEAR ANODIZED ALUMINUM)
- (E26) SYNTHETIC STUCCO FINISH SYSTEM
- (E27) MECHANICAL COOLING TOWERS
- (E28) FULL-GLAZED ALUMINUM SWINGING STOREFRONT DOOR IN ALUMINUM WINDOW SYSTEM FRAME. (FINISH: CLEAR ANODIZED)
- (E29) EXTERIOR HORIZONTAL LOUVER SYSTEM (FINISH: ANODIZED ALUMINUM)
- (E30) ROOF PARAPET TO CONCEAL PV PANELS TO MATCH MATERIAL E2
- (E31) BLADE RETAIL SIGN
- (E32) FCC & BREATHING AIR REFILL PANEL LOCATION, SEE SHEET FDA-1
- (E33) EXTERIOR SWAGGE STANDPIPE CONNECTION, SEE SHEET FDA-1
- (E34) CASINA TYP.
- (E35) FRITTED TEMPERED GLASS FENCE WITH ALUMINUM FRAMED ACCESS GATES (FINISH: PER PLAN)
- (E36) PROPOSED LOCATION OF GENERATOR EXHAUST LOUVER - (FINISH: ANODIZED ALUMINUM)



APPROVED 1/28/16

***(Subject to 2016 PAD amendment revisions)**

1 EAST ELEVATION - PHASE 1 TOWER
1/16" = 1'-0"

CONCEPTUAL - NOT FOR CONSTRUCTION

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 754 North Central Avenue, Suite 2000
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RINKA|CHUNG
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FORMAL SITE PLAN REVIEW SUBMITTAL

The PIER

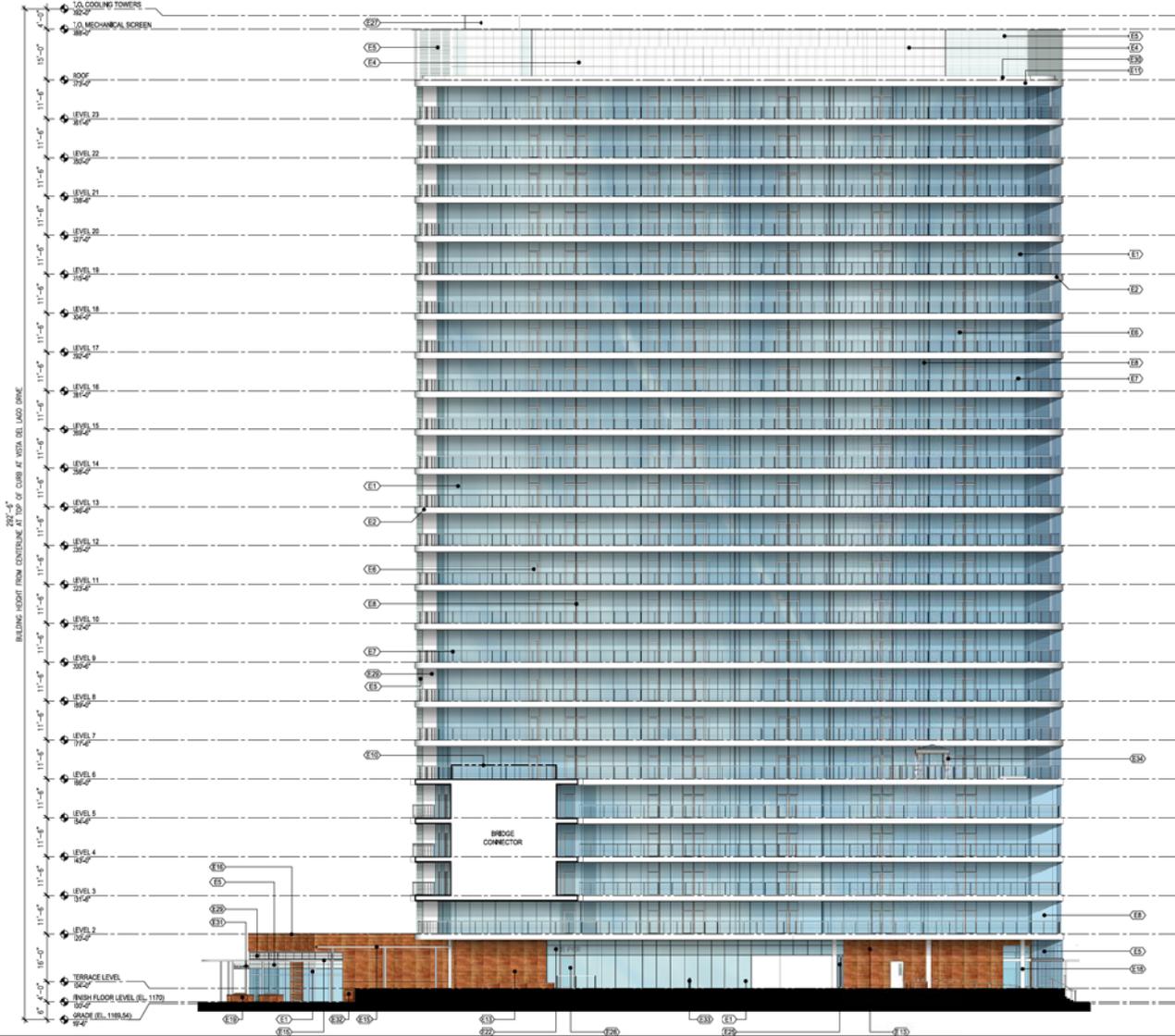
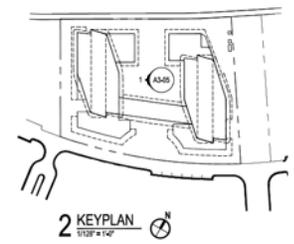
LOT 5
 APN: 319-32-019
 TEMPE, ARIZONA, 85281
 Issue Date: OCTOBER 19, 2015

RCA Project No. 150407.01
 Sheet Title
COLOR EXTERIOR ELEVATIONS

Issue No. **A3-04**

EXTERIOR KEY NOTES:

- (E1) WINDOW SYSTEM WITH BUTT-GLAZED JOINTS WITH LOW-E GLAZING
- (E2) PLANTER BOX FACING PANELS (TBD, REFER TO BALCONY SECTION A403 (FINISH COLOR - WHITE))
- (E3) SWIMMING POOL WATERFALL EDGE WITH INTEGRATED ILLUMINATED LETTERING
- (E4) METAL GRATING MECHANICAL SCREEN ON STEEL FRAMING (FINISH: WHITE PAINTED)
- (E5) WINDOW SYSTEM WITH BUTT-GLAZED JOINTS WITH FRITTED GLASS
- (E6) FULL-GLAZED ALUMINUM SWINGING TERRACE DOOR IN ALUMINUM FRAME WITH FIXED TRANSOM WINDOW ABOVE. (FINISH: CLEAR ANODIZED)
- (E7) HORIZONTAL GUARDRAIL SYSTEM (REFER TO SECTION)
- (E8) TRAVELLER-GUARD GLASS BALCONY ENDESK WITH LOCKABLE OPERABLE PORTION FOR BALCONY PLANTER BOX MAINTENANCE
- (E9) GREEN ROOF
- (E10) OPTIONAL ROOFTOP POOL TERRACE
- (E11) SLAB EDGE FACING TO MATCH BALCONY PLANTER BOX FACING MATERIAL (FINISH COLOR: WHITE)
- (E12) COLORED CAST-IN PLACE CONCRETE - COLOR TO MATCH MATERIAL E10
- (E13) SANDSTONE WALL PANELS - JOINTING TO ALIGN WITH WINDOW SYSTEM MULLIONS
- (E14) SANDSTONE WALL PANELS ON ALUMINUM ATTACHMENT SYSTEM COVER OCCURRENCE ONLY. SEE SECTION ON SHEET A443
- (E15) STEEL FRAMED CANOPY SYSTEM (FINISH: PAINTED WHITE)
- (E16) 2" HIGH STONE CAP WITH DRIP EDGE
- (E17) ALUMINUM FRAME & POLYCARBONATE OVERHEAD GARAGE DOOR (FINISH: ANODIZED ALUMINUM)
- (E18) CAST-IN PLACE CONCRETE COLUMN (FINISH: PAINT)
- (E19) SANDSTONE CLAD PLANTER BOX WITH STONE CAP
- (E20) TEMPERED GLASS FENCE WITH ALUMINUM FRAMED ACCESS GATES (FINISH: POLY PLANE)
- (E21) CAST-IN PLACE COLORED CONCRETE STEPS / RAMP (FINISH: BROOK COLOR TO RESSEMBLE MATERIAL E10)
- (E22) 30" HIGH ILLUMINATED RETAIL LETTERING - TBD
- (E23) MONUMENT SIGN WITH 4" HIGH ILLUMINATED LETTERING
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- (E25) 10'-0" HIGH SIDE FOLDING GLASS PARTITIONS (FRAME FINISH: CLEAR ANODIZED ALUMINUM)
- (E26) SYNTHETIC STUCCO FINISH SYSTEM
- (E27) MECHANICAL COOLING TOWERS
- (E28) FULL-GLAZED ALUMINUM SWINGING STOREFRONT DOOR #1 IN ALUMINUM WINDOW SYSTEM FRAME. (FINISH: CLEAR ANODIZED)
- (E29) EXTERIOR HORIZONTAL LOUVER SYSTEM (FINISH: ANODIZED ALUMINUM)
- (E30) ROOF PARAPET TO CONCEAL PV PANELS TO MATCH MATERIAL E2
- (E31) BLADE RETAIL SIGN
- (E32) FCC & BREATHING AIR REFILL PANEL LOCATION, SEE SHEET FDA-01
- (E33) EXTERIOR SWAGE STANDPIPE CONNECTION, SEE SHEET FDA-01
- (E34) CASINA TYP.
- (E35) FRITTED TEMPERED GLASS FENCE WITH ALUMINUM FRAMED ACCESS GATES (FINISH: POLY PLANE)
- (E36) PROPOSED LOCATION OF GENERATOR EXHAUST LOUVER - (FINISH: ANODIZED ALUMINUM)



APPROVED 1/28/16

***(Subject to 2016 PAD amendment revisions)**

1 EAST ELEVATION - PHASE 2 TOWER
1/8\"/>

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The PIER
RCA Project No. 150407.01
Sheet Title

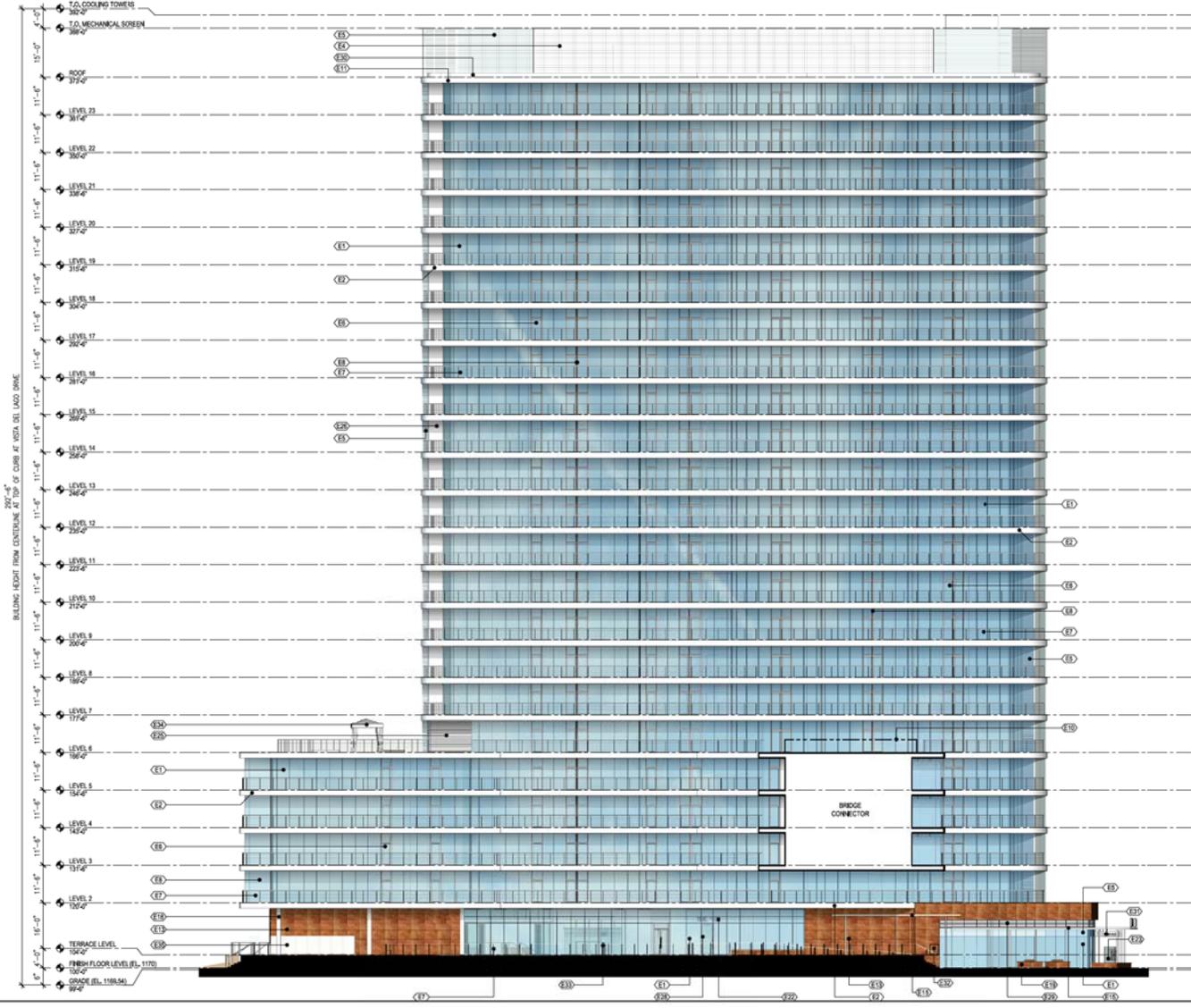
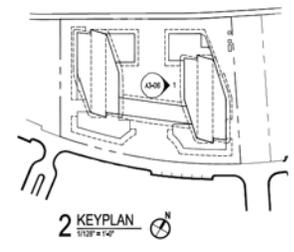
LOT 5
APN: 319-32-019
TEMPE, ARIZONA, 85281
Issue Date: OCTOBER 19, 2015

COLOR EXTERIOR ELEVATIONS

A3-05

EXTERIOR KEY NOTES:

- (E1) WINDOW SYSTEM WITH BUTT-GLAZED JOINTS WITH LOW-E GLAZING
- (E2) PLANTER BOX FACING PANELS (TDS), REFER TO BALCONY SECTION A403 (FINISH COLOR - WHITE)
- (E3) SWIMMING POOL WATERFALL EDGE WITH INTEGRATED ILLUMINATED LETTERING
- (E4) METAL GRATING MECHANICAL SCREEN ON STEEL FRAMING (FINISH: WHITE PAINT)
- (E5) WINDOW SYSTEM WITH BUTT-GLAZED JOINTS WITH FRITTED GLASS
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- (E13) SANDSTONE WALL PANELS - JOINTING TO ALIGN WITH WINDOW SYSTEM MULLIONS
- (E14) SANDSTONE WALL PANELS ON ALUMINUM ATTACHMENT SYSTEM COVER OCCURRED GLAZING. SEE SECTION ON SHEET A403
- (E15) STEEL FRAMED CANOPY SYSTEM (FINISH: PAINTED WHITE)
- (E16) 2" HIGH STONE CAP WITH DRIP EDGE
- (E17) ALUMINUM FRAME & POLYCARBONATE OVERHEAD GARAGE DOOR (FINISH: ANODIZED ALUMINUM)
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- (E30) ROOF PARAPET TO CONCEAL PV PANELS TO MATCH MATERIAL E2
- (E31) BLADE RETAIL SIGN
- (E32) FCC & BREATHING AIR REFILL PANEL LOCATION, SEE SHEET FDA-01
- (E33) EXTERIOR SWAGE STANDOFF CONNECTION, SEE SHEET FDA-01
- (E34) CABANA TYP.
- (E35) FRITTED TEMPERED GLASS FENCE WITH ALUMINUM FRAMED ACCESS GATES (FINISH: PER PLAN)
- (E36) PROPOSED LOCATION OF GENERATOR EXHAUST LOUVER - (FINISH: ANODIZED ALUMINUM)



APPROVED 1/28/16

***(Subject to 2016 PAD amendment revisions)**

1 WEST ELEVATION - PHASE 1 TOWER
1/8\"/>

FORMAL SITE PLAN REVIEW SUBMITTAL

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RCA Project No. 150407.01
Sheet Title

COLOR EXTERIOR ELEVATIONS

Sheet No.

A3-06

LOT 5
 APN: 319-32-019
 TEMPE, ARIZONA, 85281
 Issue Date: OCTOBER 19, 2015

CONCEPTUAL - NOT FOR CONSTRUCTION

THE PIER - TEMPE, ARIZONA



CONCEPTUAL RENDERING: OVERALL VIEW LOOKING WEST

RINKA|CHUNG
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amendment revisions)

FORMAL SITE PLAN REVIEW
APPROVED 1/28/16

PRELIMINARY DRAFT
NOT FOR CONSTRUCTION

OCTOBER 28, 2015
150407.00

THE PIER - TEMPE, ARIZONA



CONCEPTUAL RENDERING: PEDESTRIAN VIEW SITE ENTRANCE

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FORMAL SITE PLAN REVIEW
APPROVED 1/28/16

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OCTOBER 28, 2015
150407.00

THE PIER - TEMPE, ARIZONA



CONCEPTUAL RENDERING: PEDESTRIAN VIEW LOOKING WEST

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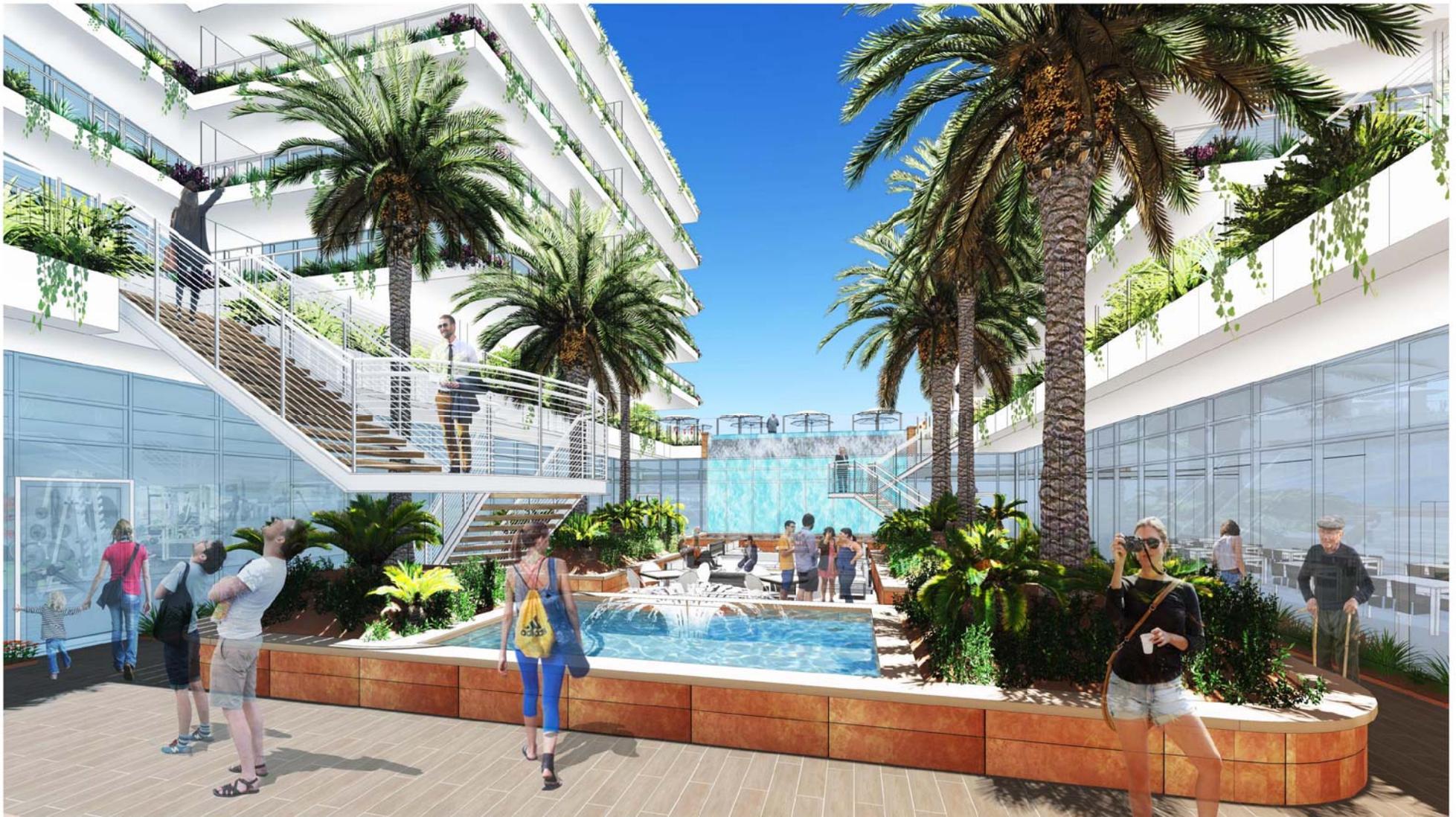
*(Subject to 2016 PAD
amendment revisions)

FORMAL SITE PLAN REVIEW
APPROVED 1/28/16

PRELIMINARY DRAFT
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OCTOBER 28, 2015
150407.00

THE PIER - TEMPE, ARIZONA



CONCEPTUAL RENDERING: LOWER LEVEL COURTYARD VIEW

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CONCEPTUAL RENDERING: CENTRAL COURTYARD VIEW

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CONCEPTUAL RENDERING: AERIAL VIEW LOOKING NORTHWEST

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CONCEPTUAL RENDERING: PEDESTRIAN VIEW LOOKING NORTH

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CONCEPTUAL RENDERING: AERIAL VIEW LOOKING WEST

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