DEVELOPMENT PROJECT FILE
for
EASTLINE VILLAGE
(PL160097)

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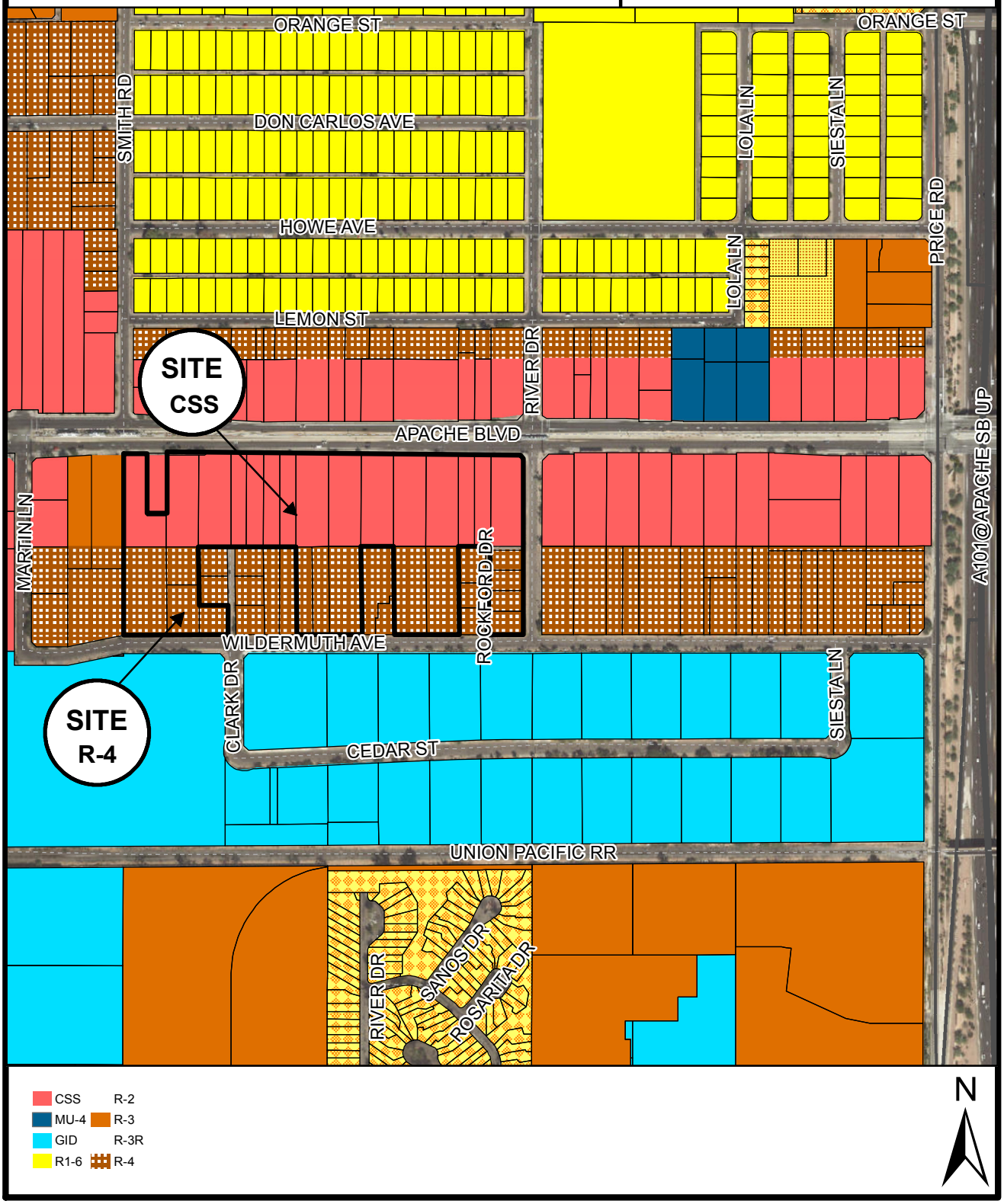
Tempe

EASTLINE VILLAGE

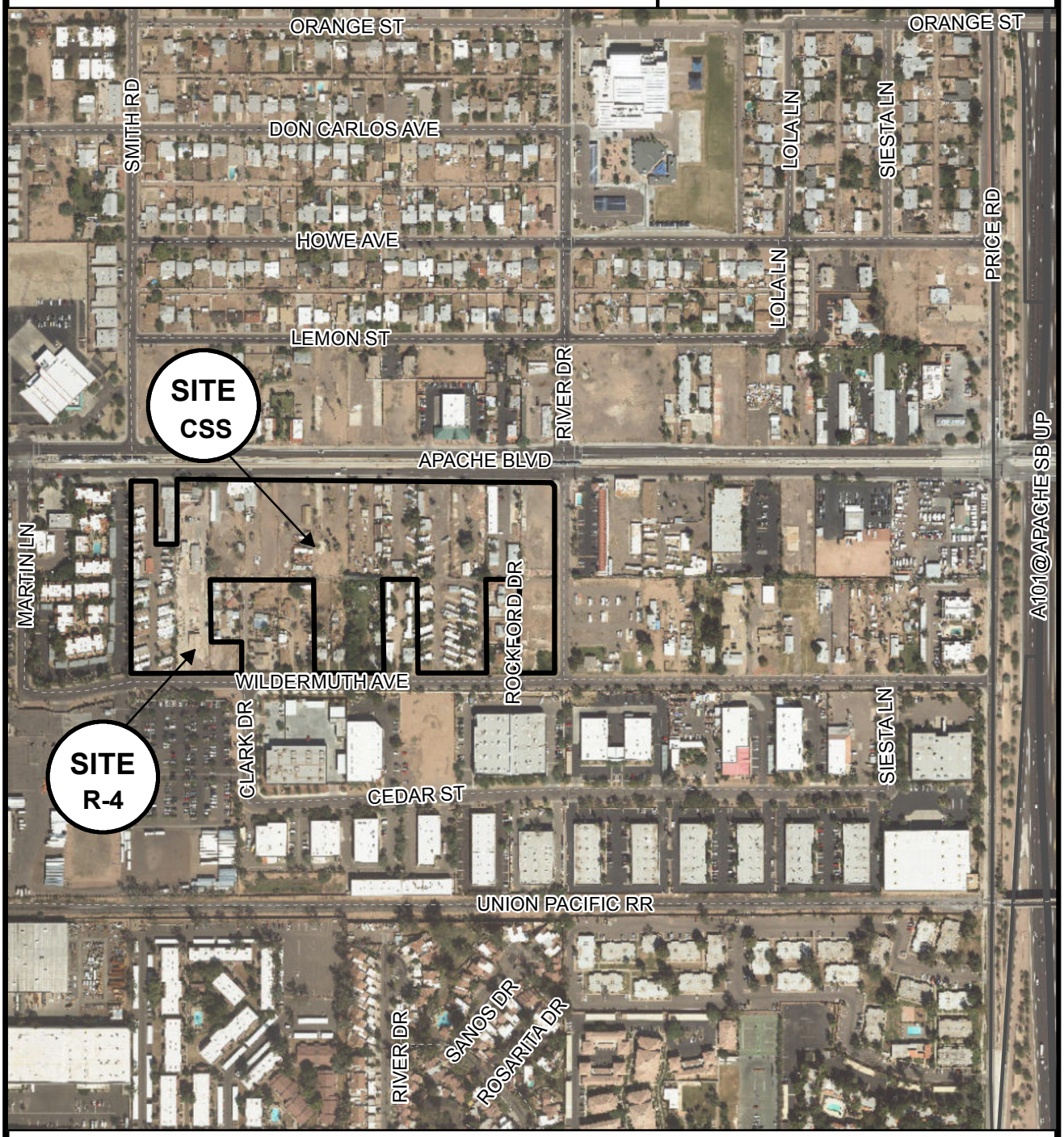
PL160097



Location Map

Tempe

EASTLINE VILLAGE	PL160097



Aerial Map

EASTLINE VILLAGE

Applicant's Letter of Explanation

Zoning Map Amendment, Planned Area Dev. Overlay and Dev. Plan Review Applications

Eastline Land Ventures, L.L.C. (the "Applicant"), a partnership between DMB Associates, Inc. ("DMB") and Apache Partners and Trust No. 95000148, respectfully submits these applications to redevelop 13.56 acres generally located along Apache Boulevard between the Smith Road alignment and River Drive in Tempe, Arizona (the "Site"). The Site, which is comprised of 27 parcels, is generally located between Apache Boulevard to the north, Wildermuth Avenue to the south, Smith Road alignment to the west, and River Drive to the east. See **Exhibit A** for an aerial photograph of the Site and surrounding uses.

Applications

The Applicant is submitting the following applications: 1) a zoning map amendment, 2) a planned area development ("PAD") overlay, and 3) a development plan review ("DPR") application for the redevelopment of the Site (collectively, the "Applications"). The purpose of these Applications is to facilitate the redevelopment of the Site and to allow the development of a mixed-use urban village which will anchor that portion of Apache Boulevard that will serve as an important eastern entry point to the City of Tempe (the "City"). This village, which will be called Eastline Village, will consist of a mix of uses including multi-family residential (+/- 688 market-rate apartment units and 10 for-sale live-work condominium units) flex office/retail (+/- 38,166 square feet), restaurants (+/- 11,800 square feet), gym/yoga studio (+/-7,000 square feet) and bar (+/- 2,500 square feet) uses along with associated parking, landscape improvements, and amenities (referred to interchangeable as the "Project", "Eastline Village" or the "Village"). The Village is an urban neighborhood designed with an appropriate mix of uses and a commitment to walkability and the pedestrian experience, all with convenient accessibility to the light rail.

The purpose of the zoning map amendment request is to rezone the Site from the Commercial Shopping and Services ("CSS") and Multi-Family Residential General ("R-4") districts to Mixed-Use, High-Density ("MU-4") with a Planned Area Development ("PAD") overlay within the Transportation Overlay District's ("TOD") Station Area. The purpose of the PAD is to establish site specific development standards required to accommodate the proposed mixed-use development. The Applicant is also requesting DPR approval for the design of the Project's first phase, including site and landscape plans, building elevations and materials. A DPR for the Project's second phase will be processed at a later date as market conditions warrant the development of the future phase.

The Applicant is actively pursuing the acquisition of additional parcels contiguous to the Site. In the event that this acquisition effort is successful, the Applicant will submit a zoning map amendment request and PAD and DPR applications to incorporate these parcels into the Project by adding buildings, replacing surface parking with structured parking, and by providing additional amenity space.

Eastline Village represents a rare opportunity to redevelop multiple small parcels which have been assembled over more than a decade to create a unique project that will make a substantial statement along the Apache Boulevard light rail corridor. This redevelopment is representative of the ongoing attention and investment occurring along the light rail corridor and throughout greater Tempe

that has been planned for and envisioned for years by policy makers. The intent of the Applications is to further improve and diversify the mix of uses along the light rail corridor by building an urban mixed-use village that will become a vibrant neighborhood.

The Applicant's vision is to create a community with a strong sense of place that lives like a close knit neighborhood village rather than a series of unrelated apartment buildings that are placed next to each other. Instead of multiple developers building unrelated projects on individual lots which will inevitably become separate residential communities with no connection, the Eastline Village will be a highly sought after dynamic neighborhood for urban dwellers.

Consistent with the City's vision for the Apache Character Area, our intent is to assemble enough parcels to support a meaningful development and to develop them into a clearly defined neighborhood. The goal is to create a model for mixed-use urban redevelopment that integrates innovation, creativity, recreation, culture community building, and sustainability.

DMB Background and Development Philosophy

Founded in 1984, DMB has developed a national reputation for creating communities and projects that respect the land and enrich the way people live and work. DMB has created some of the country's finest master planned communities, many of which are grand in scale and are on dramatic topographic sites. DMB master planned communities in the Valley include DC Ranch, Eastmark in Mesa and Verrado in Buckeye. While these well-known projects represent large scale master planned communities, DMB has also developed urban, mixed-use projects, most notably, Centerpoint on Mill. This project in downtown Tempe was a unique partnership between DMB and the City which resulted in the redevelopment of the twenty-two (22) acre site that has been an important property on Mill Avenue.

While all DMB properties are different, the approach to plan, develop and cultivate community in each development is the same. The goal of DMB is to create legacy communities that live well over time. Care and attention to the context of each community is important as each community must relate well to its setting. Within this context, the creation of a vision and land plan that will form the framework for the community is developed. Land planning, streets and public spaces, architecture and neighborhood crafting are all carefully considered and utilized to create a sense of place. While the built environment forms the physical home, what is really most significant is how people relate in the space and how the community coalesces. The built spaces are important because they are the backdrop for important moments and events of life, places of safety and creation of memories. It is the combination of these factors that define the method in which DMB approaches the development of its communities and which will be implemented in the development of Eastline Village.

Within Eastline Village, DMB plans to incorporate a grid of neighborhood streets with on and off-street parking connecting neighborhood buildings versus the typical apartment complex defined by a sea of parking, perimeter walls and limited access. While parking lots and privacy walls are cheaper to build, connected tree lined urban streets for walking provide a setting for chance encounters and expressions of civic stewardship and pride. Similarly, rather than providing typical "throw away" commercial space, the Village, because of the significant assemblage of land, can incorporate an active neighborhood main street and plaza perpendicular to Apache which can anchor the neighborhood, be closed for weekend festivities, and host seasonal events.

Market Demand

In recent years, the City and other communities have experienced an influx of multifamily projects. The primary driving forces behind this increase in new multi-family residential projects in Tempe are pent-up demand, vacancy rates and a shift in residential market demand brought on by changing consumer preferences for housing types. As a result of more numerous and less flexible lending regulations, the prospect of home ownership remains far less attainable for first time and repeat home buyers. At the same time, multi-family residential properties offer a lifestyle of independence and freedom from the responsibilities of home ownership. These properties also provide residents with an opportunity to reside in urban locations which are closer to work, entertainment and recreation opportunities, and alternative modes of transportation, such as light rail service. High-quality apartments, especially those of a quality that may be converted into ownership units as the market warrants, are an appealing housing option for both families and/or individuals that provide an opportunity to experience new neighborhoods and lifestyles in an attractive setting without the financial commitment of home ownership. See **Exhibit D** for a list of enhanced building standards and design features that will help to distinguish the Village from other developments along the Apache corridor.

Site Area

The Site is comprised of 27 parcels totaling approximately 13.56 acres in size. The Site is located along the south side of the Valley Metro Apache Boulevard light rail line generally between the Smith Road alignment to the west and River Drive to the east. A full legal description is included in the submittal packet for the Applications.

Area Context

The Site is comprised of unimproved or underutilized properties. As reflected by the aerial photograph provided in **Exhibit A**, the area surrounding the Site is developed with a mix of employment, public, commercial, and residential uses, as well as multiple underutilized, vacated or unimproved properties. Specific uses in proximity to the Site include:

- The Valley Metro light rail line within the median of Apache Boulevard;
- The Apache Boulevard / Smith-Martin light rail station platform within the median of Apache near the northwest corner of the Site;
- The two story La Paloma apartments adjoining the Site to the west;
- The Roadway Inn motel to the east across River Drive;
- A U.S Post Office at the northwest corner of Apache Boulevard and Smith Road ;
- American Five Star Transmission and a palm reading establishment along the north side of Apache Boulevard; and,
- A UPS customer center, City of Tempe Fire Department support services center, U.S. Industrial Fastener of Arizona, All Wood Treasures furniture, and Alliance Fire Protection along the south side of Wildermuth Ave.

The Applicant envisions that the development of Eastline Village will continue to revitalize the Apache Boulevard corridor and significantly enhance the area's urban environment by providing high-quality and modern residential, employment, shopping, dining, entertainment and amenity opportunities within walking distance of the Apache Boulevard / Smith-Martin light rail station.

Planning Context

General Plan 2040

The Applicant is proposing a high-quality mixed-use development comprised of high-density multi-family residential, office/retail and restaurant uses. The Project's incorporation of commercial, leasing office and amenity (i.e. gym) spaces along the Apache Boulevard street frontage combined with the creation of a neighborhood main street and plaza with active use spaces will bring much needed energy to this portion of Apache. The uses and design of the Village are consistent with the Apache Boulevard Character Area Plan and will forward the aspirations of this Plan.

As shown by the maps provided in **Exhibit B**, the land use projected for the Site by General Plan 2040 is Mixed-Use. The residential density projected for the Site by General Plan 2040 is High Density (up to 65 units per acre). According to the General Plan, the Mixed-Use category is designed to accommodate a mixture of residential and commercial uses. This category also encourages creatively designed developments that provide a living environment which reflect a "village" concept where there is opportunity to live, work and play within one development or area.

Eastline Village will provide opportunities to live, work, and play in one location. Specifically, the development of the Project will provide new multi-family residential, for-sale live-work condominium, office/retail and restaurant opportunities along the Apache Boulevard light rail corridor, as well as on-site amenities for future residents of the Village and residents in neighborhoods surrounding the Site. The Project, which will result in an overall residential density of approximately 51.82 units per net acre, is the exact type of mixed-use, high-density project envisioned by General Plan 2040 for the Site.

Apache Character Area Plan

In order to further the goals and implement General Plan 2040, the City of Tempe recently adopted the Apache Character Area Plan (the "Character Plan"). The Site is located within the Character Plan's specified boundaries. The intent of the Character Plan is to provide a policy framework which guides the redevelopment vision and design for the Apache area while preserving core neighborhoods at the same time. The Project has been designed within the context of the Character Plan's place-making principles and design guidelines. Specifically, the Character Area principles listed below are those which are most closely aligned with the vision for the Village.

- Mobility: Tempe's vision as a 20-minute city;
- Streetscapes: Streets as Open Space;
- Shade (Natural & Structural);
- Landscape Treatments – The Sonoran Desert has a unique landscape which serves as a community differentiator, rich with rare textures and forms;
- Pocket Parks + Parklets – Enhance sense of place by reclaiming and providing spaces for people;
- Pedestrian Scale: Foster Apache as a premier pedestrian environment and destination;
- Walkable Commercial / Foster Active Living; and,
- Green Infrastructure – Utilize the efficiency of natural systems where possible.

Rail Corridor Growth Area & Apache Boulevard Redevelopment Area

The Site is also located within the Rail Corridor Growth Area ("RCGA") and the Apache Boulevard Redevelopment Area ("ABRA") designated by General Plan 2040. Along the Apache Boulevard alignment of the rail corridor, General Plan 2040 calls for the continued infusion of high-density, mixed-use and transit oriented development. The general purpose of the ABRA is to encourage reinvestment in order to build a more desirable neighborhood in which people enjoy living and working within, as well as to upgrade existing development by introducing viable long-term businesses and mixed-use projects.

The Village represents a substantial reinvestment in the RCGA and represents an opportunity to improve unimproved and underutilized properties with a viable mixed-use and transit oriented development. The Village will provide high-quality housing, employment, dining, shopping and entertainment opportunities that will further foster an enjoyable living, working and playing environment within both the RCGA and ABRA.

Current Zoning

The parcels adjacent to Apache Boulevard are currently zoned Commercial Shopping and Service ("CSS"). The parcels on the southern portion of the Site adjacent to East Wildermuth Avenue on their southern border are zoned Residential-4. A zoning map illustrating the respective locations of current zoning classifications for the Site and area is enclosed as part of the submittal packet for the Applications (see **Exhibit C**).

Within the TOD ***Station Area***, the CSS district, subject to use permit approval, allows a maximum residential density of 25 units per acre and a maximum building height of 35 feet (45 feet when residential units are within a building located above commercial use(s)) and the R-4 district permits 40 units per acre and a maximum building height of 60 feet. Within the TOD's ***Corridor Area***, the CSS district, subject to use permit approval, allows a density of 20 units per acre and the R-4 district allows a maximum residential density of 25 units per acre and a maximum building height of just 40 feet. The residential density and building height allowed within the CSS and R-4 districts are inconsistent with the residential density projected for the Site by General Plan 2040. The CSS and R-4 districts' allowable height and density are also inconsistent with the general purpose of both the RCGA and ABRA, as the CSS and R-4 suburban development standards are not conducive to the development of high-quality, mixed-use and transit oriented development which will provide needed viable long-term housing, employment, shopping, dining, and entertainment opportunities.

The purpose of the Applications is to rezone the Site from CSS and R-4 to MU-4 within the TOD Station Area to accommodate the development of a urban village that will include a vibrant mix of uses that will further promote the "village concept" of living, working and playing in one location and which will be more in keeping with the recommendations of the General Plan 2040. As in many urban places, the Applicant envisions that most of the social activity and interaction will occur on the streets/plazas and the connectivity of the urban elements via an active street scene will be the key to this framework. The intent is to provide a social living room to enhance and encourage community interaction. In order to establish the site specific development standards for Eastline Village, the Applicant is requesting a PAD overlay.

Project Description

With the completion of the light rail, it is inevitable that reinvestment will occur along the corridor and especially in areas proximate to the light rail stations. This type of investment has occurred along transit facilities throughout the United States and this revitalization was anticipated and hoped for in the City of Tempe. With the widespread use of the Valley Metro light rail, redevelopment and the creation of fun, urban living environments long anticipated by policy makers is occurring. The rejuvenation of areas along the light rail, including the development of higher intensity residential uses in conjunction with complementary commercial is bringing energy and vibrancy back to many blighted areas. This type of development is also creating a renaissance for the surrounding areas. This reinvestment and re-engagement was anticipated and is encouraged in the General Plan 2040.

The development of Eastline Village is the culmination of decades of thoughtful planning and investment on the part of the City of Tempe as described above and the Project presents an extraordinary opportunity to develop a unique mixed-use urban village and transform the Apache Boulevard light rail corridor with a unique mix of residential, employment, shopping, dining and entertainment uses that will complement the corridor's existing mix of uses and serve as a catalyst for future development along the City's eastern gateway.

The purpose of the Applications is to redevelop unimproved and underutilized properties located along the Apache Boulevard light rail corridor and to further energize the RCGA and ABRA growth areas by providing high-quality, modern housing opportunities along with supporting employment, shopping, dining and entertainment uses. Eastline Village is envisioned as a truly unique living environment for those seeking a more sustainable way to reside, work and play in Arizona's most urban, creative, education-focused and forward-thinking city. As noted previously, DMB partnered with the City to plan and develop a 22 acre mixed-use development that was the foundation for the redevelopment of downtown Tempe. With this project on Apache, the Applicants want to partner with the City once again to start the revitalization of the east end of Apache Boulevard and create a neighborhood showcasing urban redevelopment that integrates innovation, creativity, recreation, culture, community building and sustainability. Eastline Village can set the standard for an urban mixed-use master-planned community.

The Site's location along the Apache Boulevard light rail line provides a unique opportunity to further encourage the rejuvenation of the Apache development corridor, to enhance pedestrian activity along Apache, and to add to the residential and commercial use mix along Apache envisioned by General Plan 2040. In order to provide the desired active and urban presence, as well as to enhance pedestrian activity along Apache Boulevard, the Project's office/retail, restaurant, leasing office, gym, bar and bike barn spaces are located along and oriented towards the Apache Boulevard frontage as well as the Project's neighborhood main street extending into the center of the Site from Apache Boulevard.

Specifically, the Applicant is proposing a walkable, modern neighborhood consisting of high quality multi-family residential, office, retail and restaurant/bar space uses, of which approximately 954,015 square feet is residential pace, 38,166 square feet is office/retail space, 11,800 square feet is restaurant space, 7,000 square feet is gym/yoga studio space, and 2,500 square is bar space. The overall Project includes:

- Buildings ranging in height from one to six stories with ground level commercial, amenity, live-work and leasing office use spaces along Apache Boulevard and/or the Project's neighborhood main street;
- A total of 688 apartment units containing a total of 992 bedrooms;
- A total of 10 for-sale live-work condominium units containing a total of 10 bedrooms;
- A neighborhood main street and plaza lined with active uses extending into the center of the Site from Apache Boulevard;
- Community pools and amenity decks centrally located within mixed-use buildings distributed throughout the development; and,
- 1,385 vehicle parking spaces provided within garages and parking courtyards, as well as on and off-street parking, distributed throughout the Site

The Project's mixed-use buildings will provide a combined total of 688 high-quality, modern apartment units on the Site. The market-rate apartments will include a mix of one, two and three bedroom units. The Project will also provide 10 one-bedroom for-sale live-work condominium units along the Site's Apache Boulevard frontage. The Project will include top-tier amenities, including but not limited to community pools, amenity courtyards, a gym and private balconies. In addition, two of the buildings will be clustered around a neighborhood main street and pedestrian plaza with active uses intended to create an active urban activity hub for residents of both the Village and the surrounding area.

Eastline Village is designed on a lot and block model. The lot and block model includes neighborhood blocks that are completely open to the community, rather than behind gated entries. This block by block concept allows the neighborhood expansion to be integrated in phases and allows for phased development of the Village. All of the residential units will have high-quality, interior finishes throughout. Specific features within each of the Village's residential units will include but are not limited to nine-foot clear ceiling heights, an attached direct access full-bathroom for each bedroom, a full-sized washer/dryer within a separate laundry room with extra storage, walk-in closets in each bedroom, an open floorplan concept for kitchen, dining and living rooms, an eight by three-foot built-in kitchen island and separate pantry area, and oversized recessed balconies (see **Exhibit D** for a comprehensive list of enhanced building standards and design features to be used and/or provided at the Village). While the lot and block neighborhoods are the most expensive to build, this type of time-tested investment has proven very successful over a long period of time and will allow conversion into condominiums as market conditions warrant.

Project Design

The design of Eastline Village is an attractive, modern and pedestrian friendly design that both thoughtfully engages and respects the surrounding community. As reflected by the enclosed conceptual elevations for the two buildings to be constructed within the Village's first phase of development, the overall architectural character is a contemporary design allowing for a timeless and modern look. While the design will reflect the modern aesthetic of other recently constructed buildings along the Apache Boulevard light rail corridor, it will also fit in with and respect the local neighborhood.

The Village's overall design is based on the traditional city block grid system that has proven very successful across the country in creating walkable, sustainable urban neighborhoods that foster people interaction. The driveway entrances into the site are designed to mimic local streets, extending into and through the Village with angled and parallel parking, street trees and paved sidewalks. The

design provides elements that cater to the pedestrian through the use of building character, signage, connectivity, landscaping, hardscape, and lighting.

The two main buildings included in the first phase of the development include seven-story residential buildings, built on top of a parking garage and ground floor commercial space. Parking for residential units is provided within each building, secured, and completely screened from street view. Parking for visitors and commercial uses is conveniently located along the Village's main drives and within parking courtyards on the south side of the Site. Electrical service entrance and meter sections, as well as trash and recycle containers and compactors, are placed inside the buildings and fully screened from the exterior view.

Each of the first phase's main buildings contain approximately 220 apartment units with a variety of one, two and three bedroom units ranging in size from 917 to 1,960 square feet, which is much larger than unit sizes associate with a typical apartment development. Each first phase building also includes five live-work condominium units providing 511 to 734 square feet of ground-level office/retail space along the Site's Apache Boulevard frontage with 658 to 735 square feet of office space on the second level. Each of these buildings will feature secure garage access, convenient elevator access to each floor, and interior air-conditioned lobbies and corridors. An approximate 11,000 square-foot resort style deck park built above the parking garage and wrapped by residential units will also be provided within each of these buildings. The decks will be heavily landscaped and will include a large swimming pool and spa, several BBQ areas, a large Gazebo and variety of seating, lounging and active gaming areas that will create inviting, comfortable outdoor gathering places for residents. Each apartment unit will also have a large 'private open space' in the form of a balcony or patio. This unique design with a large amenity deck in the middle provides each living unit with unobstructed views to the surrounding area, the Village's plaza and/or the building's amenity deck.

Ground floor commercial uses are placed along the Site's Apache Blvd. frontage and extend into the plaza located between the main buildings within the Village's first phase development. The plaza is designed to become a gathering place within and the center of activity for the Village. It will feature small restaurant/bar buildings with a large open space in between. A fountain/sculpture placed in the middle of the plaza will serve as a focal point. The center portion of the plaza will extend across the adjoining drives with raised decorative pavement, providing connectivity with the main entry elements of commercial spaces on either side. Both ends of the plaza will also have direct connection with adjoining commercial spaces. The one-way drives on each side of the plaza may also be closed off to create an approximate one acre gather place for special events.

The building design is inspired by the 'Bauhaus' and 'International Style', some of the most influential currents in modern architecture. This style and character of architecture is characterized by straight edges and smooth rectilinear forms in a balanced composition that expresses the form and functionality of its components. By principal the design is void of all arbitrary applied ornamentation, striving towards simplicity, honesty and clarity of form and beauty. The building style is a classic, contemporary and timeless design. While it may be a synthesis of the various trends of the modernist movements in architecture and urban planning, it is an approach to architecture that transcends 'style'. The design approach for the Village was to research users' needs and to scientifically develop a design solution that integrates traditional precedents with new social demands and effective building components. The art and real beauty of this design is the accommodation of all these aspects.

The design concept is addressed in further detail within the development plan review approval criteria section of this letter of explanation provided below.

Sustainability

While each DMB community is unique, DMB has always considered responsible development to be one of the hallmarks of its brand and philosophy, whether it's through the preservation of desert environment (DC Ranch and Verrado) or the reuse and recycling of existing materials (Eastmark). At Eastline, concepts of sustainability will be put into play in a manner that achieves the biggest impacts and which provide an overall positive return to the project sustainability. Building methods, architecture, site planning, building orientation, landscaping, drainage and other methods that contribute to the overall project sustainability will be evaluated and implemented in a methodical manner.

The Applicant anticipates achieving a high level of sustainability for the Project by utilizing recognized green building features and practices. The building and unit design will incorporate environmentally sustainable elements to increase energy efficiency, including, but not limited to high efficiency mechanical equipment and water heaters, energy rated appliances, low energy use LED light fixtures, dual glazed low-e windows and patio doors, and reduced flow toilets and plumbing fixtures. Additionally, pro-active recycling measures will be implemented on-site for the residents and commercial users. Construction activities will also be subject to extensive recycling of construction materials.

Landscape Design

The minimum landscape coverage to be provided for the first two phases of the proposed mixed-use development, including resident amenity decks and landscaped areas within and around surface parking areas which may be developed as buildings and/or parking structures as part of later phases, is approximately 25 percent, a significant amount for a development in an urban setting. In addition, approximately 26,000 square feet of landscape and hardscape improvements will be provided within the adjoining right-of-way. The intent of the landscaping design is to create garden-like environments that are segregated from vehicular traffic and create a park-like feel for residents and guests that will also serve as an integral part of the overall landscape design for the Project. The proposed landscape materials for the Village will add to the desired garden-like environment. The landscape design will include inviting open spaces for gathering and recreation, including a plaza within the neighborhood main street / plaza and swimming pools within amenity courtyards for residents' use. The selected tree species will provide ample shade for pedestrians passing by and walking through the Village. Landscaping concepts will be planned to maximize creation of shade and to soften urban edges and spaces to create a welcoming environment for people.

As reflected by the conceptual landscape plan included as part of the submittal packet for the Applications, the Project's landscape design:

- embraces non-invasive drought tolerant plant palette to promote water conservation and place-making;
- uses the Apache Character Area's historic plant palette as a resource for plant selection in appropriate areas;
- promotes biodiversity throughout the landscape to help prevent single-species die-off, disease, pest infestations, encourages sustainable plant pollination, nutrient cycling, healthy soils as well as bird and insect diversity

- supports purple-colored plants and flowering trees, shrubs and ground covers to foster community identity within the Apache Blvd. area;
- promotes a maintenance plan that does not contribute to over-grown or over-pruned arid plants, which causes shock and reduces flowering and pollination; and,
- support tall and high canopy trees which are home to birds of prey and are part of a healthy and balanced urban forestry program and habitat

Open Space & Urban Plaza Design

While great urban spaces, such as Bryant Park and Times Square, can reshape entire districts of a city, landscape voids in the urban fabric (lawns often called parks) are often found in many blighted areas. Modern apartment complexes often install greenways connecting buildings surrounded by surface parking. While these open space greenways, typically narrow bands of lawn and trees between buildings, provide unstructured recreational opportunities, most are often simply passive open spaces that provide a scenic arrival to individual homes not capable of transforming a community.

The Village, through the provision of urban social space and elements of a connective urban grid, has been designed to be transformative. The transformation of a district or area typically takes place socially. As such, open space provides the framework for such social interaction. To create such a space, one needs to make sure the size is right to contain the needed and desired vibrancy. The space needs to be able to transition from a packed holiday weekend event to a Tuesday morning stroll without ever feeling empty and abandoned, or too crowded to be welcoming. For these reasons, the Project's urban plaza has been modeled off of one of three blocks comprising the successful Santana Row regional mixed-use center in San Jose, California. The modeled block of Santana Row culminates in an urban plaza surrounded by indoor/outdoor retail and dinning uses.

In addition, the Village's residential buildings have been designed to provide a semi-private recreational amenity deck above each building's parking structure. These private outdoor spaces include a pool, bar-b-que and outdoor gathering spaces, and vegetation isolated from the urban street grid. These enclosed courtyards, which have natural surveillance from surrounding units, will provide recreational amenities desired by residents and guests of modern multi-family housing.

On the south half of the Site, the development plan begins with interim surface parking lots, landscape areas and drainage basins to be developed in phases. As the Project becomes more successful and people are naturally drawn to the urban plaza at the heart of the Village, these improvements are intended to be redeveloped into urban uses which will increase the open space as part of the extended urban fabric.

Circulation and Parking

The Project, which will be accessed via Apache Boulevard, River Drive and Wildermth Ave., will provide a total of 1,385 vehicle parking spaces, of which 861 spaces will be provided within garages, 398 spaces will be provided within parking courtyards, 86 spaces will be provided off-street throughout the Site, and 16 spaces will be provided on-street along River Drive and Wildermuth Avenue. The provided parking is more than an ample amount for an urban, mixed-use development with immediate access to a light rail station. In addition, the Project will provide a total of 736 bike spaces. The number of parking spaces provided exceeds the applicable code requirement for the proposed multi-family residential, live-work, office/retail, restaurant, gym/yoga and bar uses.

A traffic impact study prepared by CivTech, Inc is included as part of the submittal packet for the Applications. The study concluded that traffic added to the adjoining roadway network as a result of the development of the Village can be mitigated to ensure that all study intersections currently providing an acceptable level of service will continue to do so.

Development Plan Review Approval Criteria

Pursuant to Zoning and Development Code 6-306, the Applicant is requesting Development Plan Review approval of architectural drawings for the Project's first phase of development, including site and landscape plans, building elevations and building materials. As discussed below, the Project is an appropriately scaled and aesthetically pleasing design that will encourage, protect and enhance the functional and attractive appearance of the Site and the surrounding area.

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape*

   The otherwise long and tall buildings are designed with large geometric forms that break them up into smaller components to reduce the perceived scale of the buildings within the streetscape. The main lobby, stairwell and elevators are recessed into the center of the building, and provide a tall vertical element to further break up the mass and anchor the buildings to the ground. The buildings are designed to form a unified whole, connecting across the lower scale plaza in the middle. A variety of materials, textures and colors are then used to further break up the individual geometric forms within the overall composition.

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2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort*

   The longer side of each building is appropriately oriented north to south. As a result, the entire Apache Blvd. frontage will remain largely shaded at all times. The design will respect and enhance the unique climate through the use of landscaping, recessed balconies, large overhangs, articulation, material selection, textures and light paint colors. Higher density housing with multiple levels minimizes exterior wall and roof exposure to the sun. The parking garages and deck parks above minimize the asphalt area on-site, significantly reducing the typical heat-island effect.

3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings*

   The building design incorporates a large variety of high end materials and finishes, true to form and function. The ground/street-level includes honed, textured and integrally colored masonry walls and piers between the storefront. The main lobby is defined with thermally infused 'Novawood' and accented with fiber cement panels above. The main buildings above feature integrally colored Stucco/EFIS system, providing a fine textured/smooth surface appropriate to the modern design. Vertical standing seam and corrugated metal panels are used in selective areas to highlight important building elements, provide interest and added texture to the overall composition.

4. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level*

The buildings are designed with large geometric forms that break them up into smaller components to reduce the perceived scale of the buildings within the streetscape. To highlight important building volumes and features, the main lobby, stairwell and elevators are recessed into the center of the building, providing a tall vertical element that breaks up the mass, and anchors the buildings to the ground.

The ground floor commercial spaces clearly define a base for the buildings above. Deep cantilevered roof overhangs define the top. The recessed and protruding balconies break up the mass in-between and create a rhythmic movement across the building elevations that are further enhanced by accent colors at the back wall and underside of balconies, as well as the change in materials between the different elements.

5. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings*

As discussed in detail in the area context section provided above, the Site is located within an urban, mixed-use environment along the Valley Metro light rail line that includes a mix of employment, public, commercial, and residential uses, as well as multiple underutilized, vacated or unimproved properties. The Project's buildings and landscape elements have been designed with the context of the area in mind. In the context of the mixed-use and high-density residential development projected for the Site and surrounding area by the General Plan, recently constructed and approved mixed-use and high-density developments along the Apache light-rail corridor, and the existing employment and commercial uses in proximity to the Site, the Project's proposed six-story building height is of an appropriate scale for the area.

A minimum of approximately 25 percent landscape coverage within the Site is more than appropriate for an urban, mixed-use environment. The proposed landscape palette along Apache and the Project's neighborhood main street, as well as the landscape palette proposed for the overall Site, will also further establish and contribute to a pedestrian friendly environment along the Apache light rail corridor.

6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions*

The ground floor commercial space along the Apache Blvd. is designed for high visibility of tenant spaces with continuous tall storefront windows broken up by exposed masonry piers. The masonry piers are accented with lighting and tall pots with flowering plants. The piers extend into the hardscape with exposed aggregate concrete bands terminating with a shade tree along the street frontage. Most of the existing street lights will be relocated and centered between the trees, creating a rhythm of patterns

along the street. Seating areas and designated areas for bike racks are conveniently spaced out along the frontage. Series of long linear low concrete planters provide for additional planting at the main building entry area. The storefront at the corners is recessed into the building to better define entrances to major tenants and provide opportunities for future patios.

The storefront windows continue along the plaza drive frontage – broken up by wood clad concrete columns and defined major tenant elements at the center plaza crossing. The corners of the buildings fronting the plaza are extended out even further to create the opportunity for sizable covered restaurant patios. The plaza drives are lined with trees on both sides providing additional shade and interest to the pedestrian environment.

7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage;*

The goal of the Applications is to create a mixed-use development that will add to the mix of market rate apartments, for-sale live-work, office/retail and restaurant/bar uses along the Valley Metro light rail line, as well as enhance pedestrian street activity along the Apache Blvd. light rail corridor.

As noted above, the Site is located directly adjacent to the platform of the Apache / Smith-Martin light rail station. Considering the Site's location along the Apache light rail corridor and the proximity of the light rail station, this segment of Apache Boulevard will continue to see significant increases in pedestrian traffic for the foreseeable future. To enhance the pedestrian environment and multi-modal transportation usage, the Project will energize the ground level of the Site by providing a frontage along both Apache Boulevard and the Project's neighborhood main street comprised of street-level office/retail, restaurant/bar, leasing office, gym and bike barn uses/spaces combined with residential units above all oriented toward either an oversized walkway along the Apache street frontage or the Project's neighborhood main street.

To further encourage the use of the multi-modal transportation options available along the Apache corridor, the Project will also provide 736 bike spaces for residents, guests and patrons use.

8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses*

The Project's vehicular circulation has been designed to minimize conflicts with pedestrian access and circulation. The movement of pedestrians is a major element of the Project. The Project includes a main street plaza extending into the center of the Site from Apache Boulevard. The plaza, which will be of an appropriate scale and include hard and softscape improvements, will encourage and facilitate safe pedestrian movements while calming vehicular traffic at the same time. As reflected by the site and landscape plans, the Project's design segregates pedestrian and vehicular movements to the extent possible. The Project will also provide an oversized walkway

separated and distinguished from vehicle maneuvering areas along the Site's Apache Boulevard frontage.

9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance*

Crime prevention and security of residents and visitors alike is a critical factor that has been seriously considered and incorporated into the overall design. The parking garages are reserved for residents only, and secured with automatic roll down gates and electronic access controls. Visitor entry will be limited to the main lobby, a highly visible location along the street frontage. The continuous storefront and wide open sidewalks provide for natural surveillance along the building frontage. Sidewalks and parking areas will be well illuminated. The provision of a security guard will be considered as needed. Additionally, refuse and recycling compactors have been placed within the building, eliminating the hazards associated with remote service yards.

10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways*

The proposed landscape and hardscape improvements along Apache and throughout the Site will delineate walkways, driveways, drive aisles and parking areas from the public right-of-way, as well as the Project's buildings. Appropriate trees and enhanced landscaping and hardscape materials will be placed along the Site's Apache frontage and within and/or along the Project's main street plaza and amenity courtyards to further distinguish pedestrian areas. The selected landscape and hardscape materials will also create an aesthetically pleasing and comfortable environment for pedestrians passing by or walking through the Site.

11. *Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located*

The Project's sign package is not included as part of the Applications submittal. A comprehensive sign package will be prepared and processed for the Project at later date. The sign package will ensure that that the design, scale, proportions, location and color of signage to be provided on the Site is compatible with the Project's design and uses, as well as adjoining and nearby uses.

12. *Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects*

As detailed by the photometric plan included as part of the Applications submittal, the Project's lighting will be compatible with the proposed multi-family residential and office/retail and restaurant/bar uses, as well as adjoining and nearby buildings and uses. The lighting will not adversely impact uses within the Project or adjoining and nearby uses.

Conclusion

We are very excited about the opportunity to participate in the redevelopment of the Apache Boulevard light rail corridor. Eastline Village represents the culmination of years of planning and investment by the City to focus on the quality of livability of Tempe. Eastline is an opportunity for a master plan mixed-use urban village which will be a truly unique living environment and destination for workforce, entrepreneurs, millennials and those seeking a more urban and sustainable way to live in Tempe. Eastline Village will provide sought-after housing opportunities in proximity to employment, shopping and dining uses to be provided on-site and the commercial, educational and entertainment uses located along the light rail line. The Project will offer superior amenities to future residents, provide a neighborhood gathering location and amenity in the form of a main street and plaza, and maintain appropriate relationships with the street environment and surrounding neighborhood and properties. We look forward to discussing the Project and requests with you in the near future and respectfully request your support.

PLANNED AREA DEVELOPMENT OVERLAY FOR EASTLINE VILLAGE

THOSE PORTIONS OF THE FINAL PLAT OF BUENA PARK PLAT 2, ACCORDING TO BOOK 33 OF MAPS, PAGE 38, RECORDS OF MARICOPA COUNTY, ARIZONA

ACKNOWLEDGEMENT

ON THIS _____ DAY OF _____, 2016 BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED _____, OWNER, WHO ACKNOWLEDGED HIMSELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THERIN CONTAINED.

IN WITNESS WHEREOF; I HEREUNTO SET MY HAND AND OFFICIAL SEAL

BY:_____ _____
NOTARY PUBLIC MY COMMISSION EXPIRES

EASTLINE LAND VENTURES, LLC, A DELAWARE LIMITED LIABILITY COMPANY:
BY: DMB ASSOCIATES, INC., AN ARIZONA CORPORATION, ITS MANAGER

BY:_____ _____
ANDREW BEAMS DATE

ON THIS _____ DAY OF _____, 2016 BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED _____, OWNER, WHO ACKNOWLEDGED HIMSELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THERIN CONTAINED.

IN WITNESS WHEREOF; I HEREUNTO SET MY HAND AND OFFICIAL SEAL

BY:_____ _____
NOTARY PUBLIC MY COMMISSION EXPIRES

APACHE PARTNERS 4, LLC, AN ARIZONA LIMITED LIABILITY COMPANY:
BY: JAO UNIVERSAL, L.L.L.P., AN ARIZONA LIMITED LIABILITY LIMITED PARTNERSHIP, ITS MANAGER

BY:_____ _____
JEFF JONES DATE

ON THIS _____ DAY OF _____, 2016 BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED _____, OWNER, WHO ACKNOWLEDGED HIMSELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THERIN CONTAINED.

IN WITNESS WHEREOF; I HEREUNTO SET MY HAND AND OFFICIAL SEAL

BY:_____ _____
NOTARY PUBLIC MY COMMISSION EXPIRES

FIDELITY NATIONAL INSURANCE COMPANY INC., AN ARIZONA CORPORATION, AS TRUSTEE UNDER TRUST NO. 95000148 AND NOT IN ITS CORPORATE CAPACITY:

BY:_ JOE A. GUTIERREZ JR._____ _____
TRUST OFFICER DATE

ON THIS _____ DAY OF _____, 2016 BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED _____, OWNER, WHO ACKNOWLEDGED HIMSELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THERIN CONTAINED.

IN WITNESS WHEREOF; I HEREUNTO SET MY HAND AND OFFICIAL SEAL

BY:_____ _____
NOTARY PUBLIC MY COMMISSION EXPIRES

CITY OF TEMPE, A MUNICIPAL CORPORATION:

BY:_____ _____
REPRESENTATIVE DATE

DS151102

OWNER/DEVELOPER

EASTLINE LAND VENTURES, LLC
ANDREW BEAM, REPRESENTATIVE
7600 E. DOUBLE TREE RANCH RD. #300
SCOTTSDALE, AZ 85258
480-367-7000

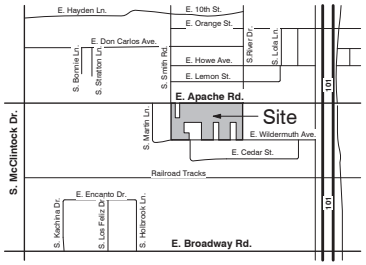
APACHE PARTNERS 4, LLC
JEFF JONES, REPRESENTATIVE
4422 N. CIVIC CENTER PLAZA #202
SCOTTSDALE, AZ 85251
480-367-7000

OWNER

TRUST NO. 95000148
JOE A. GUTIERREZ JR., TRUST OFFICER
60 E. RIO SALADO PARKWAY, 11th FLOOR
TEMPE, AZ 85281
480-214-4523

CITY OF TEMPE
_____, REPRESENTATIVE
132 E. 6TH ST. #101
TEMPE, AZ 85281
480-350-4311

SITE VICINITY MAP



CONDITIONS OF APPROVAL:

PL160097

TBD

APPROVAL

APPROVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF TEMPE ON THIS _____DAY OF _____, 2016.

_____

PL160097

PROJECT DATA

ZONING DISTRICT(S) AND OVERLAY(S)	PAD Proposed MU-4 / TOD / PAD
GENERAL PLAN LAND USE	Mixed-Use
GENERAL PLAN DENSITY (DU/Ac)	Up to 65
SITE AREA - GROSS	590,740 SF / 13.56 Ac
SITE AREA - NET	586,566 SF / 13.47 Ac
DWELLING QUANTITY	698 DU
DENSITY (DU/Ac)	51
BUILDING HEIGHT	90 ft
BUILDING STEPBACK (Adjacent to SFR Districts)	Yes
BUILDNG LOT COVERAGE	75%
SITE LANDSCAPE COVERAGE	
AT GRADE	19.6%
AT DECK PARK (2nd Floor)	5.6%
COMBINED	25.2%
BUILDING SETBACKS [a]	
FRONT (APACHE BLVD.)	0 ft Min / 20 ft Max
SIDE (RIVER DR.)	0 ft Min / 20 ft Max
REAR (WILDERMUTH AVE.)	0 ft Min / 20 ft Max
SIDE (INTERIOR LOT LINES)	0 ft
SIDE (WEST PROPERTY LINE)	10 ft Min
STREET SIDE - PARKING AND MANEUVERING	20 ft
VEHICLE PARKING QUANTITY REQUIRED	1207
RESIDENTIAL	
1 Bed (444 Units / 444 Beds)	333 (0.75 SP/Bed)
2 Bed (184 Units / 368 Beds)	276 (0.75 SP/Bed)
3 Bed (60 Units / 180 Beds)	135 (.75 SP/Bed)
Live-Work 1Bed (10 Units / 10 Beds)	8 (.75 SP/Bed)
GUEST (698 Units)	140 (0.20 SP/Unit)
TOTAL RESIDENTIAL	892
COMMERCIAL	
Bar	25 (1 SP / 50 SF) [b]
Restaurant	157 (1 SP / 75 SF)
Gym / Yoga	56 (1 SP / 125 SF)
Office / Retail	77 (1 SP / 300 SF) [c]
TOTAL COMMERCIAL	315
VEHICLE PARKING QUANTITY PROVIDED	1385
BICYCLE PARKING QUANTITY REQUIRED	717
RESIDENTIAL	
1 Bed (444 Units)	333 (0.75 SP/Unit)
2 Bed (184 Units)	138 (0.75 SP/Unit)
3 Bed (60 Units)	60 (1.00 SP/Unit)
Live-Work 1Bed (10 Units)	8 (0.75 SP/Unit)
GUEST (698 Units)	140 (0.20 SP/Unit)
TOTAL RESIDENTIAL	679
COMMERCIAL	
Bar	5 (1 SP / 500 SF)
Restaurant	24 (1 SP / 500 SF)
Gym / Yoga	4 (1 SP / 2,000 SF)
Office / Retail	5 (1 SP / 7,500 SF)
TOTAL COMMERCIAL	38
BICYCLE PARKING QUANTITY PROVIDED	736
USES	1,333,878 SF
Residential	954,015 SF
Parking Garages	289,655 SF
Storage & Utility	30,742 SF
Commercial	
Bar	2,500 SF
Restaurant	11,800 SF
Gym / Yoga	7,000 SF
Office / Retail	38,166 SF
Total Commercial	59,466

[a] This PAD defines the front property line as Apache Blvd., not River Dr.
[b] Parking waived for 50% of floor area, not to exceed 2,500 SF of floor area
[c] Parking waived for 50% of floor area, not to exceed 30,000 SF of floor area

REC16057

REC16057

PL160097

DS151102

K & I HOMES, LLC
4422 N. CIVIC CENTER PLAZA
SUITE 202
SCOTTSDALE, AZ 85251
PH: 480-970-8900

uhdc URBAN HOME DEVELOPMENT CORPORATION

DMB®

VILLAGE EASTLINE
LIVE - WORK - PLAY
APACHE BLVD. REDEVELOPMENT
TEMPE, ARIZONA

Revisions		
#	Description	Date

OWNERSHIP OF DOCUMENTS

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO K & I HOMES, LLC.

JOB NUMBER:
DRAWN BY: AD
CHECKED BY: KS
ISSUE DATE: 07/13/2016

32407 KRISTJAN SIGURDSSON ARIZONA U.S.A.

SHEET TITLE:
PAD - Cover Sheet

SHEET NUMBER:
PAD 1

PAD / DPR #4

Z:\Eastline\PUD DPR - 3rd Submittal - Revit Models\EASTLINE - Overall Site - 2017 - PUD DPR 3rd Sub - ASHTON.rvt

7/8/2016 3:05:48 PM

PLANNED AREA DEVELOPMENT OVERLAY FOR EASTLINE VILLAGE

THOSE PORTIONS OF THE FINAL PLAT OF BUENA PARK PLAT 2, ACCORDING TO BOOK 33 OF MAPS, PAGE 38, RECORDS OF MARICOPA COUNTY, ARIZONA

LEGAL DESCRIPTION

THOSE PORTIONS OF THE FINAL PLAT OF BUENA PARK PLAT 2, ACCORDING TO BOOK 33 OF MAPS, PAGE 38, RECORDS OF MARICOPA COUNTY, ARIZONA, BEING LOCATED IN THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF TRACT D OF SAID FINAL PLAT;

THENCE NORTH 00°08'09" EAST, ALONG THE WEST LINE OF SAID FINAL PLAT, FOR A DISTANCE OF 575.28 FEET TO A POINT 57.00 FEET SOUTH OF THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 24;
THENCE NORTH 89°57'09" EAST, PARALLEL WITH AND 57.00 FEET SOUTH OF SAID NORTH LINE, FOR A DISTANCE OF 74.83 FEET, TO THE PROLONGATION OF THE WEST LINE OF EAST 60.00 FEET OF LOT 24 OF SAID FINAL PLAT;
THENCE SOUTH 00°06'59" WEST, ALONG SAID WEST LINE, FOR A DISTANCE OF 200.14 FEET;
THENCE NORTH 89°57'09" EAST, PARALLEL WITH THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 24, FOR A DISTANCE OF 60.03 FEET, TO A POINT ON THE WEST LINE OF LOT 23 OF SAID FINAL PLAT;
THENCE NORTH 00°08'09" EAST, ALONG SAID WEST LINE, FOR A DISTANCE OF 200.14 FEET TO A POINT 57.00 FEET SOUTH OF THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 24;

THENCE NORTH 89°57'09" EAST, PARALLEL WITH AND 57.00 FEET SOUTH OF THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 24, FOR A DISTANCE OF 1129.23 FEET;
THENCE SOUTH 50°04'55" EAST, FOR A DISTANCE OF 19.11 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF RIVER DRIVE AS RECORDED IN SAID FINAL PLAT;
THENCE SOUTH 00°07'09" WEST, ALONG SAID WEST RIGHT-OF-WAY, FOR A DISTANCE OF 563.37 FEET, TO THE NORTH RIGHT-OF-WAY LINE OF WILDERMUTH AVENUE AS RECORDED IN SAID FINAL PLAT;
THENCE SOUTH 89°58'09" WEST, ALONG SAID NORTH RIGHT-OF-WAY, FOR A DISTANCE OF 116.00 FEET TO THE EAST RIGHT-OF-WAY LINE OF ROCKFORD DRIVE AS RECORDED IN DOCKET 1203, PAGE 437, RECORDS OF MARICOPA COUNTY, ARIZONA;

THE FOLLOWING THREE COURSES ARE ALONG SAID EAST RIGHT-OF-WAY LINE OF ROCKFORD DRIVE:
THENCE NORTH 00°07'09" EAST, FOR A DISTANCE OF 74.97 FEET;
THENCE NORTH 89°57'09" EAST, FOR A DISTANCE OF 12.00 FEET;
THENCE NORTH 00°07'09" EAST, FOR A DISTANCE OF 207.65 FEET TO A POINT ON THE NORTH LINE OF TRACT C OF SAID FINAL PLAT;
THENCE SOUTH 89°57'09" WEST, ALONG SAID NORTH LINE, FOR A DISTANCE OF 104.00 FEET, TO A POINT ON THE EAST LINE OF THE WEST 104.00 FEET OF THE EAST HALF OF TRACT C OF SAID FINAL PLAT;
THENCE SOUTH 00°07'09" WEST, ALONG SAID EAST LINE, FOR A DISTANCE OF 282.59 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF WILDERMUTH AVENUE AS RECORDED IN SAID FINAL PLAT;
THENCE SOUTH 89°58'09" WEST, ALONG SAID NORTH RIGHT-OF-WAY, FOR A DISTANCE OF 208.00 FEET TO A POINT ON THE WEST LINE OF THE EAST 104.00 FEET OF THE WEST HALF OF TRACT C OF SAID FINAL PLAT;
THENCE NORTH 00°07'09" EAST, ALONG SAID WEST LINE, FOR A DISTANCE OF 282.53 FEET TO A POINT ON THE NORTH LINE OF TRACT C OF SAID FINAL PLAT;
THENCE SOUTH 89°57'09" WEST, ALONG SAID NORTH LINE, FOR A DISTANCE OF 104.00 FEET TO A POINT ON THE EAST LINE OF THE WEST 104.00 FEET OF TRACT C OF SAID FINAL PLAT;
THENCE SOUTH 00°07'09" WEST, ALONG SAID EAST LINE, FOR A DISTANCE OF 282.50 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF WILDERMUTH AVENUE AS RECORDED IN SAID FINAL PLAT;
THENCE SOUTH 89°58'09" WEST, ALONG SAID NORTH RIGHT-OF-WAY, FOR A DISTANCE OF 208.00 FEET TO A POINT ON THE WEST LINE OF THE EAST 104.00 FEET OF TRACT D OF SAID FINAL PLAT;
THENCE NORTH 00°07'09" EAST, ALONG SAID WEST LINE, FOR A DISTANCE OF 282.44 FEET TO A POINT ON THE NORTH LINE OF TRACT D OF SAID FINAL PLAT;
THENCE SOUTH 89°57'09" WEST, ALONG SAID NORTH LINE, FOR A DISTANCE OF 312.00 FEET TO A POINT ON THE EAST LINE OF THE WEST 238.93 FEET OF TRACT D OF SAID FINAL PLAT;
THENCE NORTH 00°07'09" WEST, ALONG SAID EAST LINE, FOR A DISTANCE OF 188.00 FEET;
THENCE NORTH 89°57'09" EAST, FOR A DISTANCE OF 92.00 FEET TO A POINT ON THE EAST LINE OF THE WEST 92.00 FEET OF THE EAST 416.00 FEET OF TRACT D OF SAID FINAL PLAT;
THENCE SOUTH 00°07'09" WEST, ALONG SAID EAST LINE, FOR A DISTANCE OF 94.37 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF WILDERMUTH AVENUE AS RECORDED IN SAID FINAL PLAT;
THENCE SOUTH 89°58'09" WEST, ALONG SAID NORTH RIGHT-OF-WAY, FOR A DISTANCE OF 331.01 FEET TO THE **POINT OF BEGINNING**.

SAID PARCEL CONTAINS 586,566 SQ.FT., OR 13.466 ACRES, MORE OR LESS.

PROJECT DATA

ZONING DISTRICT(S) AND OVERLAY(S)	R-4 / TOD Table 5-610A Multi-Family	CS5 / TOD Table 5-611A Commercial	PAD Proposed MU-4 / TOD / PAD
GENERAL PLAN LAND USE	Mixed-Use	Mixed-Use	Mixed-Use
GENERAL PLAN DENSITY (DU/Ac)	Up to 65	Up to 65	Up to 65
SITE AREA - GROSS	223,015 SF / 5.12 Ac	367,725 SF / 8.44 Ac	590,740 SF / 13.56 Ac
SITE AREA - NET	223,015 SF / 5.12 Ac	363,551 SF / 8.35 Ac	586,566 SF / 13.47 Ac
DWELLING QUANTITY			698 DU
DENSITY (DU/Ac)	40	25	51
BUILDING HEIGHT	60 ft	45 ft	90 ft
BUILDING STEPBACK (Adjacent to SFR Districts)	Yes	Yes	Yes
BUILDNG LOT COVERAGE	75%	75%	75%
SITE LANDSCAPE COVERAGE	25%	25%	
AT GRADE			19.6%
AT DECK PARK (2nd Floor)			5.6%
COMBINED			25.2%
BUILDING SETBACKS [a]			
FRONT (APACHE BLVD.)	10 ft Min / 20 ft Max	0 ft Min / 6 ft Max	0 ft Min / 20 ft Max
SIDE (RIVER DR.)	10 ft	0 ft	0 ft Min / 20 ft Max
REAR (WILDERMUTH AVE.)	10 ft	10 ft	0 ft Min / 20 ft Max
SIDE (INTERIOR LOT LINES)	5 ft	0 ft [d]	0 ft
SIDE (WEST PROPERTY LINE)	10 ft	10 ft	10 ft Min
STREET SIDE - PARKING AND MANEUVERING	20 ft	20 ft	20 ft
VEHICLE PARKING QUANTITY REQUIRED			1207
RESIDENTIAL			
1 Bed (444 Units / 444 Beds)			333 (0.75 SP/Bed)
2 Bed (184 Units / 368 Beds)			276 (0.75 SP/Bed)
3 Bed (60 Units / 180 Beds)			135 (.75 SP/Bed)
Live-Work 1Bed (10 Units / 10 Beds)			8 (.75 SP/Bed)
GUEST (698 Units)			140 (0.20 SP/Unit)
TOTAL RESIDENTIAL			892
COMMERCIAL			
Bar			25 (1 SP / 50 SF) [b]
Restaurant			157 (1 SP / 75 SF)
Gym / Yoga			56 (1 SP / 125 SF)
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BICYCLE PARKING QUANTITY REQUIRED			717
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Gym / Yoga			4 (1 SP / 2,000 SF)
Office / Retail			5 (1 SP / 7,500 SF)
TOTAL COMMERCIAL			38
BICYCLE PARKING QUANTITY PROVIDED			736
USES			1,333,878 SF
Residential			954,015 SF
Parking Garages			289,655 SF
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Commercial			
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Restaurant			11,800 SF
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Office / Retail			38,166 SF
Total Commercial			59,466

[a] This PAD defines the front property line as Apache Blvd., not River Dr.
[b] Parking waived for 50% of floor area, not to exceed 2,500 SF of floor area
[c] Parking waived for 50% of floor area, not to exceed 30,000 SF of floor area
[d] 10 ft Min adjacent to residentially zoned property

GENERAL NOTES

1. PARKING FOR RESIDENTIAL UNITS PROVIDED WITHIN EACH SECURED / RESERVED BUILDING PARKING GARAGE. COMMERCIAL USERS AND GUESTS DO NOT HAVE ACCESS TO RESIDENTIAL PARKING GARAGES.
2. BICYCLE SPACES FOR RESIDENTIAL UNITS PROVIDED WITHIN EACH BUILDING PARKING GARAGE, AS WELL AS IN A DEDICATED BIKE STORAGE / REPAIR ROOM AT GRADE LEVEL OF EACH BUILDING.

REC16057

PL160097

DS151102

K & I HOMES, LLC
4422 N. CIVIC CENTER PLAZA
SUITE 2
SCOTTSDALE, AZ 85251
PH: 480-970-8900

URBAN HOME DEVELOPMENT CORPORATION

DMB

VILLAGE EASTLINE
LIVE - WORK - PLAY
APACHE BLVD. REDEVELOPMENT
TEMPE, ARIZONA

Revisions		
#	Description	Date

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JOB NUMBER:
DRAWN BY: AD
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ISSUE DATE: 07/13/2016

REGISTERED ARCHITECT 32407 KRISTJAN SIGURDSSON Series 1 Expires

SHEET TITLE:
PAD Cover Sheet - Cont'd

SHEET NUMBER:
PAD 2

PAD / DPR #4

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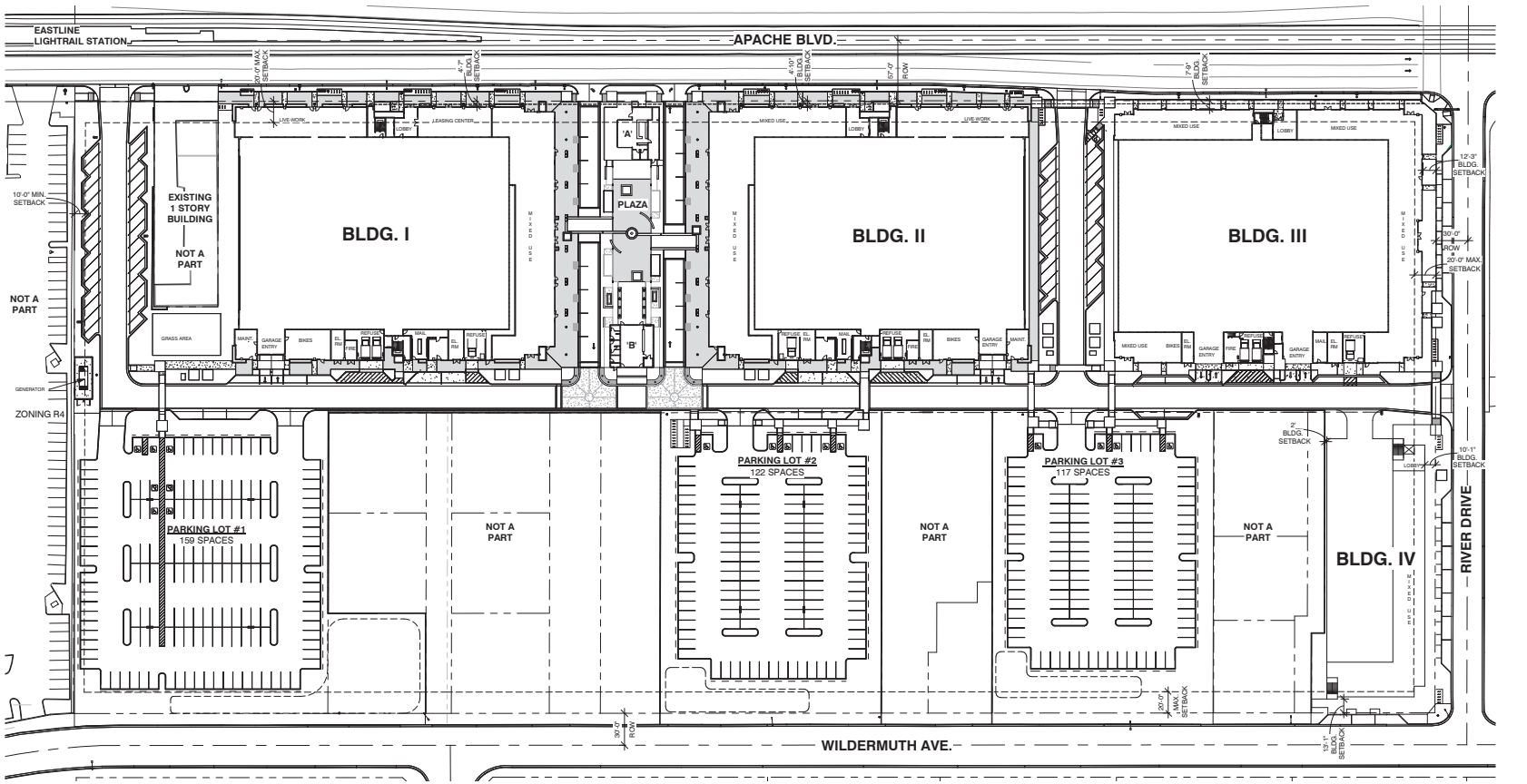
PLANNED AREA DEVELOPMENT OVERLAY FOR EASTLINE VILLAGE
SITE PLAN



1 SITE PLAN
1" = 50'-0"

DS151102 PL160097 REC16057

REC16057

PL160097

DS151102

K & I HOMES, LLC
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SUITE 2
SCOTTSDALE, AZ 85251
PH: 480-970-8900

uhdc URBAN HOME DEVELOPMENT CORPORATION

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VILLAGE EASTLINE
LIVE - WORK - PLAY
APACHE BLVD. REDEVELOPMENT
TEMPE, ARIZONA

Revisions		
#	Description	Date

OWNERSHIP OF DOCUMENTS

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32407 KRISTJAN SIGURDSSON ARIZONA U.S.A.

SHEET TITLE:
Site Plan

SHEET NUMBER:

PAD 3

PAD / DPR #4

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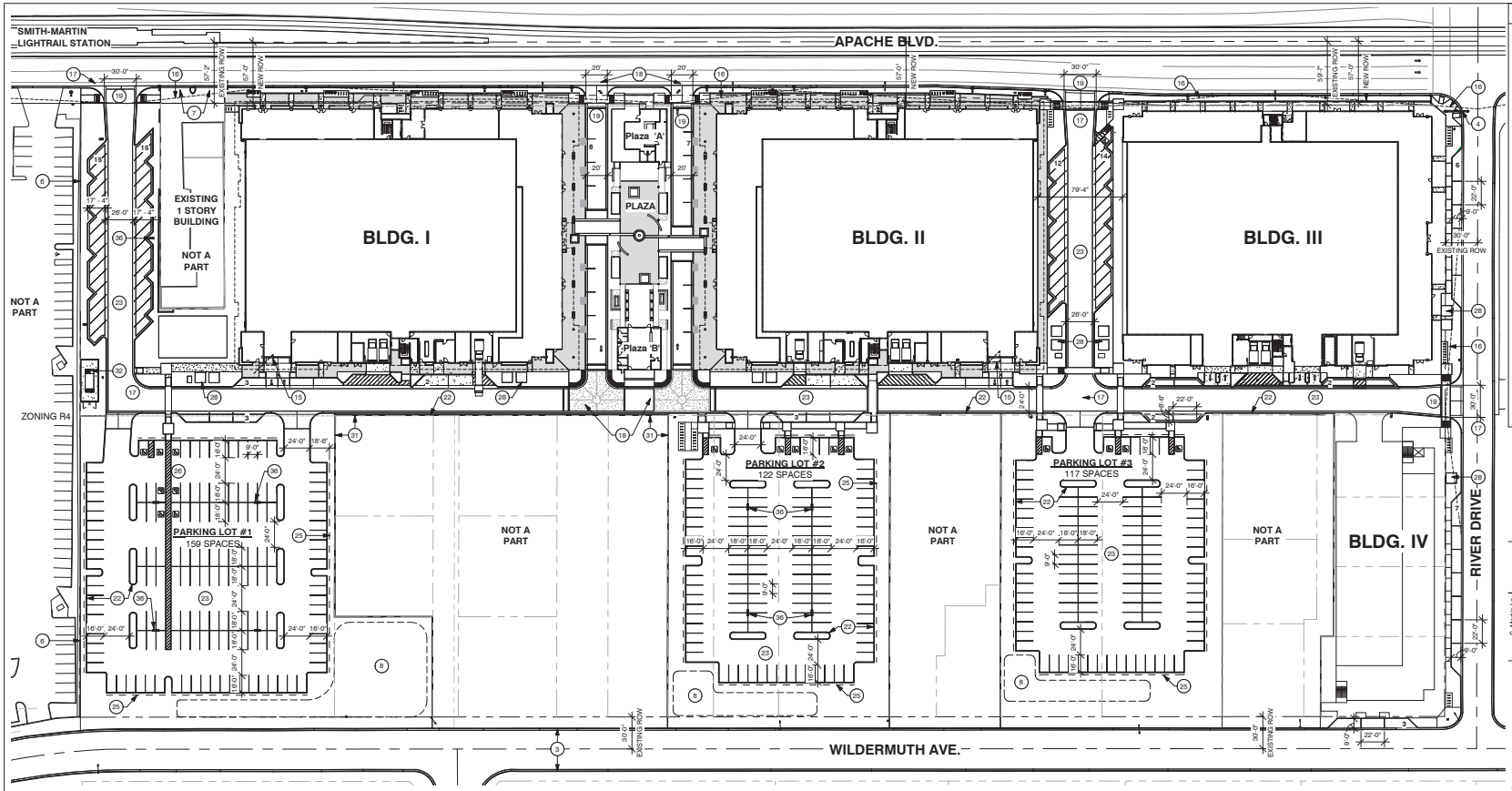

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2. EXIST. CONC. SIDEWALK
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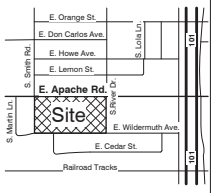

VICINITY MAP

1 MASTER SITE PLAN - Ground Level
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SCALE: 0' - 1" = 50' - 0"
0' 25' - 0" 50' - 0" 100' - 0"

N O R T H

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PHASE I & II INLCUDES 27 DIFFERENT PARCELS THAT WILL BE COMBINED WITH NEW SUBDIVISION PLAT.

133-02-045E / 133-02-044A / 133-02-043A / 133-02-042 / 133-02-041 / 133-02-040 / 133-02-039 / 133-02-038 / 133-02-037 / 133-02-036A / 133-02-035A / 133-02-034A / 133-02-033A / 133-02-032A / 133-02-031A / 133-02-047C / 133-02-047B / 133-02-047D / 133-02-050 / 133-02-053 / 133-02-054 / 133-02-052 / 133-02-058 / 133-02-059 / 133-02-066 / 133-02-060 / 133-02-061

PROJECT INFO

PROJECT NAME: EASTLINE VILLAGE PHASE I - II

SITE ADDRESS:
- BUILDING I 2025 E. APACHE BLVD. (PROPOSED)
- PLAZA 'A' 2035 E. APACHE BLVD. (PROPOSED)
- PLAZA 'B' 2045 E. APACHE BLVD. (PROPOSED)
- BUILDING II 2055 E. APACHE BLVD. (PROPOSED)
- BUILDING III 2085 E. APACHE BLVD. (PROPOSED)
- BUILDING IV 1330 S. RIVER DR. (PROPOSED)

PROPOSED USE / SCOPE OF WORK: REDEVELOPMET / NEW MIXED-USE URBAN NEIGHBORHOOD.

BUILDINGS I, II, III: 5 LEVELS OF LIVING UNITS OVER 2 LEVEL PARKING GARAGE AND GROUND FLOOR COMMERCIAL USE.
BUILDING IV: 3 LEVELS OF LIVING UNITS OVER GROUND FLOOR PARKING GARAGE AND COMMERCIAL USE.
PLAZA 'A' & 'B' 1 STORY BAR/RESTAURANT

VARIANCES REQUESTED: NONE

USE PERMIT REQUIRED: PLAZA 'B' (FUTURE BAR), PROCESSED SEPARATELY

PARCEL SIZE GROSS NET
+/- 590,740 SF = 13.56 ACRES +/- 586,566 SF = 13.47 ACRES

GENERAL PLAN 2040: PROJECTED LAND USE: MIXED-USE
PROJECTED DENSITY: HIGH DENSITY (UP TO 65 DU / ACRE)

ZONING: EXISTING ZONING: CSS TOD — COMMERCIAL SHOPPING AND SERVICES
R-4 TOD — MULTY-FAMILY RESIDENTIAL GENERAL
PROPOSED ZONING: MU-4 — MIXED-USE, HIGH-DENSITY
OVERLAY DISTRICT: TOD/PAD — TRANSPORTATION / PLANNED AREA DEVELOPMENT

BUILDING AREAS & CONSTRUCTION TYPE: GROSS SF PER 2012 IBC (SEE A0.5.x)

	P1/GF	P2	2ND	3RD	4TH	5TH	6TH	TOTAL	TYPE
BUILDING I									
BLDG 1	76,119	59,418						135,537	I-A
BLDG 2			27,645	27,509	27,702	27,509	29,943	140,308	III-B
BLDG 3			28,018	28,018	28,168	28,018	29,730	141,952	III-B
BUILDING II									
BLDG 1	76,119	59,418						135,537	I-A
BLDG 2			27,645	27,509	27,702	27,509	29,943	140,308	III-B
BLDG 3			28,018	28,018	28,168	28,018	29,730	141,952	III-B
BUILDING III									
BLDG 1	45,632	22,912						115,076	I-A
BLDG 2			26,903	26,903	26,903	26,903	26,903	134,515	III-B
BLDG 3			26,945	26,945	26,945	26,945	26,945	134,725	III-B
BUILDING IV									
BLDG 1	29,916							29,659	I-A
BLDG 2			26,903	26,903	26,903			80,709	V-A
PLAZA 'A'	2,000							2,000	V-B
PLAZA 'B'	1,600							1,600	V-B

TOTAL ALL BUILDINGS: = **1,333,878 SF**

TOTAL GROUND FLOOR (P1/GF): = **231,386 SF**

NET LOT COVERAGE: 231,386 / 586,566 SF = **39.44 %**

OCCUPANCY GROUP (SEE SHEETS A0.6.x):

BUILDINGS I, II, III & IV		
BLDG 1	A-2 / A-3 / B / M / R-2 / S-2 / U	MIXED-USE
BLDG 2&3	R-2	APARTMENT UNITS
PLAZA A&B	A-2	ASSEMBLY (BAR/RESTAURANT)

FIRE SPRINKLERS: YES - FULL NFPA 13, PER IBC SEC. 903.3.1.1

FIRE ALARM: YES - PER IBC. SEC. 907

ALLOWABLE AREAS AND HEIGHT (SEE SHEETS A0.5.x):

	PER FLOOR	TOTAL AREA	STORIES	HEIGHT	ACTUAL STORIES	ACTUAL HEIGHT
BLDGS I, II, & III						
BLDG 1	ULIMITED	ULIMITED	ULIMITED	ULIMITED	2	21'
BLDG 2	41,280	123,840	4+1 = 5	55'+20'=75'	5	74'
BLDG 3	41,280	123,840	4+1 = 5	55'+20'=75'	5	74'
BLDG IV	28,500	85,500	3+1 = 4	50'+20'=70'	4	55'
PLAZA A&B	6,000	18,000	1+1 = 2	20'+20'=40'	1	26'

UNIT MIX & NET LIVABLE AREAS (SEE SHEETS A4.0.x):

APARTMENTS:

UNIT TYPE	NUMBER OF UNITS	AVG. UNIT AREA	AVG. BALCONY/ AREA
1 BED/1.5 BATH	444	841 SF	91 SF
2 BED/2.5 BATH	184	1,284 SF	114 SF
3 BED/3.5 BATH	60	1,693 SF	162 SF
TOTAL UNITS	688		

LIVE-WORK CONDOMINUMS:

UNIT TYPE	NUMBER OF UNITS	AVG. AREAS COMMERCIAL	LIVING	BALCONY
1 BED/1.5 BATH	10	645 SF	700 SF	125 SF

TOTAL LIVING UNITS: 698

TYPE 'A' UNITS: REQUIRED(IBC SEC. 1107.6.2.1.1): 2% OF TOTAL = 698 X 2% = 13.96
PROVIDED = 14 UNITS
ALL OTHER UNITS MEET TYPE 'B' ACCESSIBILITY STANDARDS

DENSITY - MAXIMUM ALLOWED: 65 DU / NET ACRE

DENSITY - CURRENTLY PROPOSED:
698 UNITS / 13.56 AC=51.47 DU / GROSS ACRE

OPEN SPACE PROVIDED ON-SITE: SITE/GROUND LEVEL OPEN SPACE (SEE A1.9)	AREA	% OF NET SITE
- CENTER PLAZA (LANDSCAPE/HARDSCAPE)	10,664 SF	1.8 %
- LANDSCAPE/PLANTERS	62,090 SF	10.6 %
- SIDEWALK/HARDSCAPE (FROM BUILDING TO CURB OR P.L.)	42,209 SF	7.2 %
TOTAL SITE/GROUND FLOOR	**114,963 SF**	**19.6 %**
DECK PARKS / 2ND FLOOR		
- DECK PARKS (11,100 SF EA. X 3)	33,300 SF	5.6 %
TOTAL SITE AND DECK PARKS	**148,263 SF**	**25.2 %**
PRIVATE OPEN SPACE(RESIDENTS)		
- PRIVATE BALCONIES AND PATIOS (105 SF AVG / UNIT)	72,240 SF	12.3 %
ROW IMPROVEMENTS PROVIDED:		
- LANDSCAPE/PLANTERS:	16,315 SF	
- SIDEWALK/HARDSCAPE:	9,692 SF	
TOTAL	**26,007 SF**	

Parking Required - RESIDENTIAL			VEHICLES			BICYCLE
	Quantity	Type	Ratio	Required	Ratio	Required
UNITS	454	1 Bed	75 SP / Bed	341	0.75 SP / Unit	341
	184	2 Bed	75 SP / Bed	276	0.75 SP / Unit	138
	60	3 Bed	75 SP / Bed	135	1.5 SP / Unit	60
Total	698			752		539

Parking Required - GUEST			VEHICLES			BICYCLE
	Quantity	Type	Ratio	Required	Ratio	Required
Guest	698	Units	20 SP / Unit	140	0.2 SP / Unit	140
Total Required - RESIDENTIAL & GUEST				892		679

Parking Provided - RESIDENTIAL			VEHICLES			BICYCLE
	Location		Standard	Accessible	Total	
Building I	Garage P1 & P2		275	6	281	180
Building II	Garage P1 & P2		275	6	281	180
Building III	Garage P1 & P2		265	6	271	170
Building IV	Garage		39	1	40	22
Total Parking Provided			854	19	874	552

Accessible Spaces required: 2% of total spaces provided 18

Parking for residential units provided within each secured/reserved building parking garage
Commercial users and Guests do not have access to residential parking garages
Bicycle spaces for residential units provided within each building parking garage, as well as in a dedicated bike storage/repair room at grade level of each building

Parking Required - COMMERCIAL			VEHICLES			BICYCLE
Commercial	Net Area	Use	Ratio	Required	Ratio	Required
	2,500	Bar	1 SP / 50 sf *	25	1 / 500 sf	3
	11,800	Restaurant	1 SP / 75 sf	157	1 / 500 sf	24
	7,000	Gym/Yoga	1 SP / 125 SF	56	1 / 2,000	4
	38,168	Office/Retail	1 SP / 300 sf **	128	1 / 7,500 sf	5
Total	59,468			370		37

* Parking waived for 50% of floor area, not to exceed 2,500 SF of floor area
** Parking waived for 50% of floor area, not to exceed 30,000 SF

Total Required - COMMERCIAL & GUEST 455 177

Parking Provided - COMMERCIAL / GUEST			VEHICLES			BICYCLE
	Location		Standard	Accessible	Total	
Surface	On-Site		81	1	82	150
	Parking Lot #1		150	6	156	
	Parking Lot #2		117	5	122	34
	Parking Lot #3		117	5	122	
Street	River Dr		13		13	
	Wildermuth		3		3	
Total Parking Provided			481	18	511	184

Accessible Spaces required: 2% of total spaces provided 18

	VEHICLES	BICYCLE
Total Required - ENTIRE PROJECT	1,207	716
Total Provided - ENTIRE PROJECT	1,385	736

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32407 KRISTJAN SIGURDSSON ARIZONA U.S.A.

SHEET TITLE:
Master Site Plan

SHEET NUMBER:
A1.1

PAD / DPR #4

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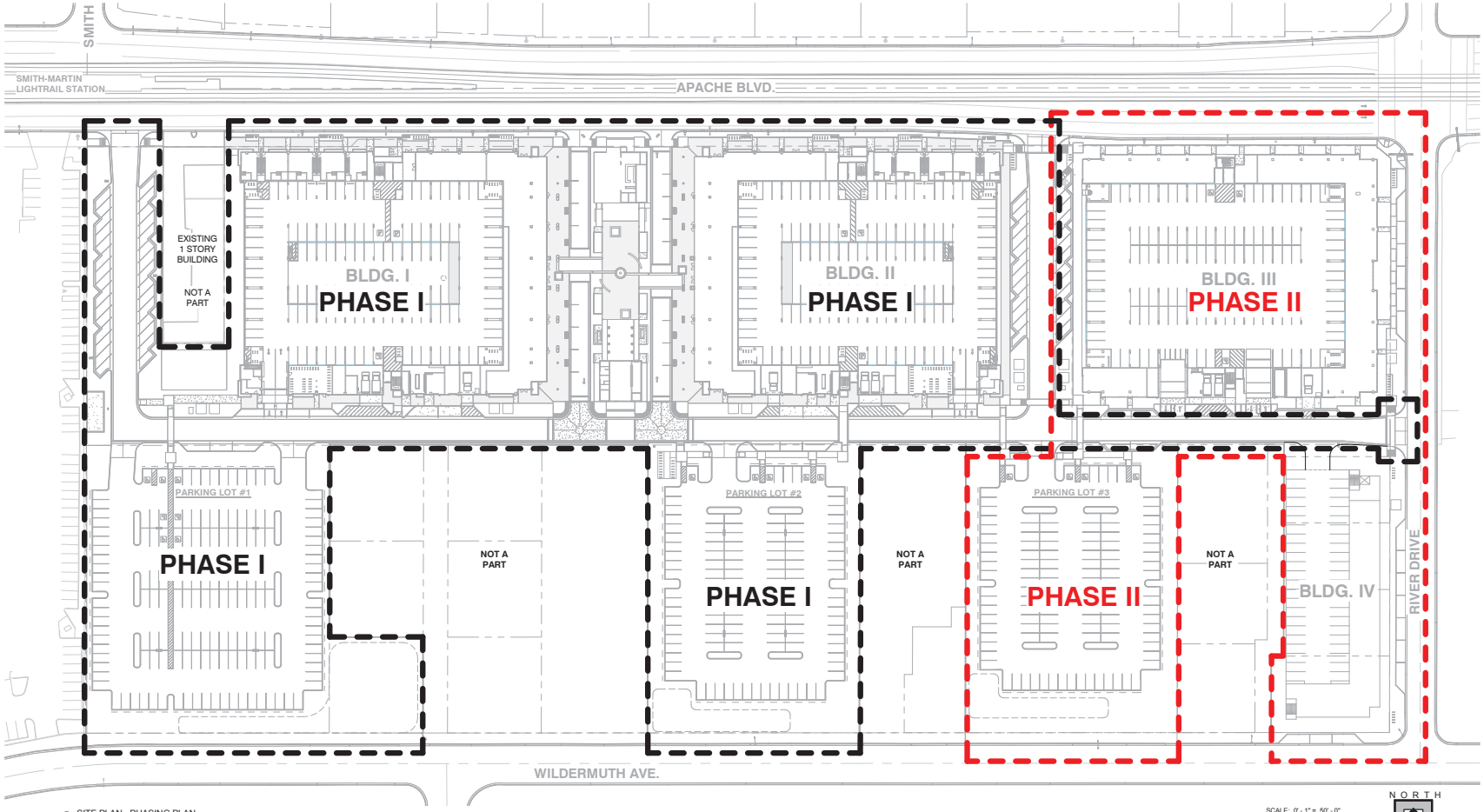

1 SITE PLAN - PHASING PLAN
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SCALE: 0' - 1" = 50' - 0"
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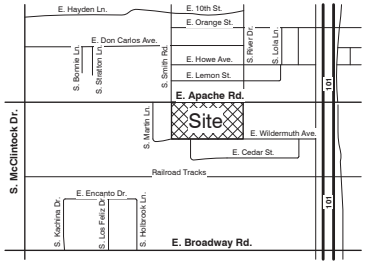
SITE PLAN PHASING GENERAL NOTES

1. PHASE I & II ARE PART OF INITIAL REZONE / PAD
2. FUTURE PHASE REZONE / PAD AMENDMENT UNDER SEPARATE SUBMITTAL AT A LATER DATE - TBD

VICINITY MAP



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REGISTERED ARCHITECT 32407 KRISTJAN SIGURDSSON ARIZONA U.S.A.

SHEET TITLE:
Site Plan - Phasing Plan

SHEET NUMBER:

A1.2

PAD / DPR #3

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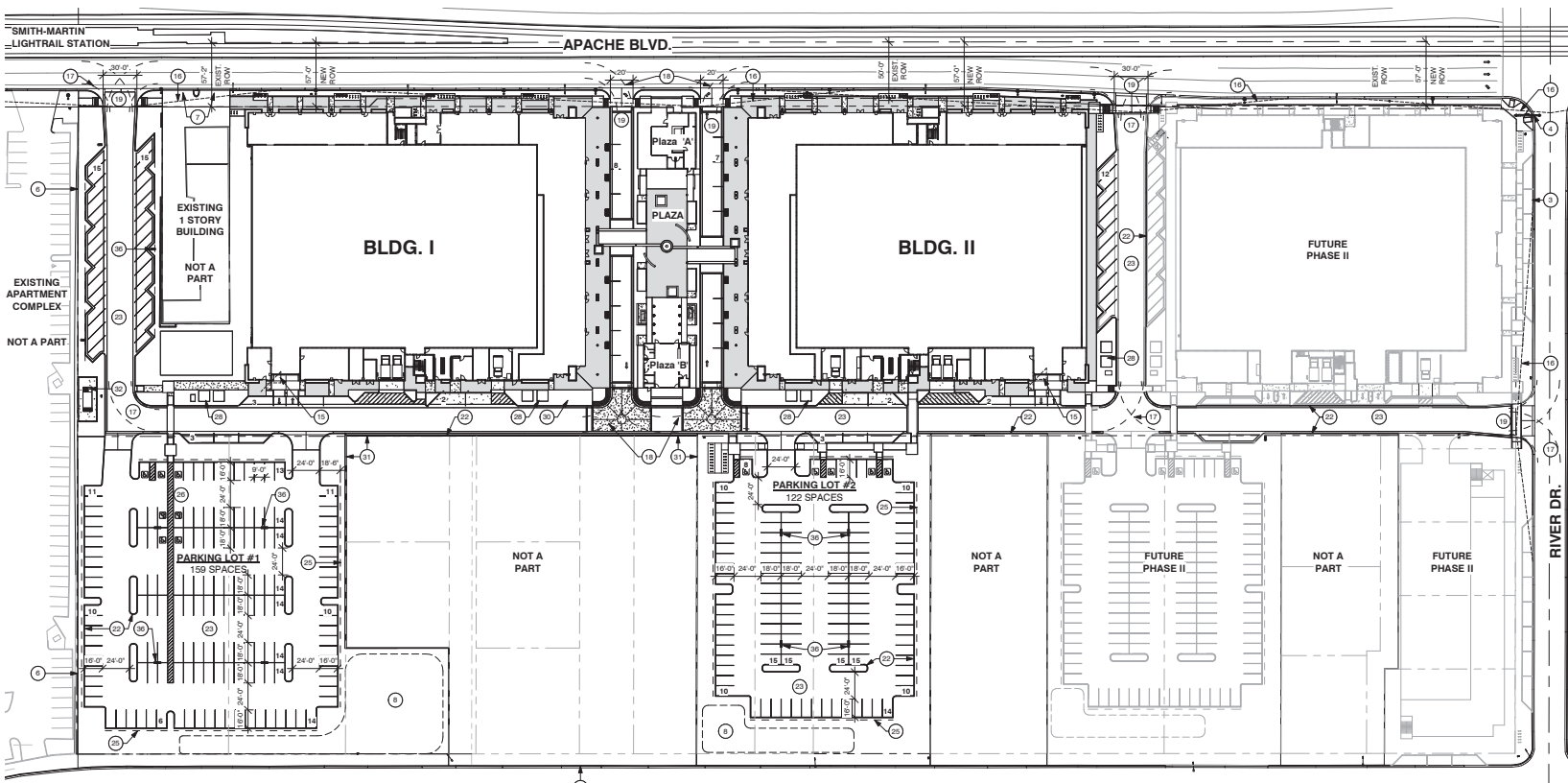

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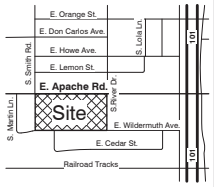

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THOSE PORTIONS OF THE FINAL PLAT OF BUENA PARK PLAT 2, ACCORDING TO BOOK 33 OF MAPS, PAGE 38, RECORDS OF MARICOPA COUNTY, ARIZONA, BEING LOCATED IN THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

PHASE I INLCUDES 17 DIFFERENT PARCELS THAT WILL BE COMBINED WITH NEW SUBDIVISION PLAT.

133-02-045E / 133-02-044A / 133-02-043A / 133-02-042 / 133-02-041 / 133-02-040 / 133-02-039 / 133-02-038 / 133-02-037 / 133-02-036A / 133-02-035A / 133-02-052 / 133-02-058 / 133-02-059 / 133-02-066 / 133-02-060 / 133-02-061

PROJECT INFO

EASTLINE VILLAGE — PHASE I

SITE ADDRESS:
- BUILDING I — 2025 E. APACHE BLVD. (PROPOSED)
- PLAZA 'A' — 2035 E. APACHE BLVD. (PROPOSED)
- PLAZA 'B' — 2045 E. APACHE BLVD. (PROPOSED)
- BUILDING II — 2055 E. APACHE BLVD. (PROPOSED)

PROPOSED USE / SCOPE OF WORK: REDEVELOPMET / NEW MIXED-USE URBAN NEIGHBORHOOD

BUILDINGS I & II: 5 LEVELS OF LIVING UNITS OVER 2 LEVEL PARKING GARAGE AND GROUND FLOOR COMMERCIAL USE.
PLAZA 'A' & 'B': 1 STORY BAR/RESTAURANT

VARIANCES REQUESTED: NONE

USE PERMIT REQUIRED: PLAZA 'B' (FUTURE BAR), PROCESSED SEPARATELY

PARCEL SIZE GROSS: +/- 414,837 SF = 9.52 ACRES; NET: +/- 410,659 SF = 9.43 ACRES

GENERAL PLAN 2040: PROJECTED LAND USE: MIXED-USE; PROJECTED DENSITY: HIGH DENSITY (UP TO 65 DU / ACRE)

ZONING: EXISTING ZONING: CSS TOD — COMMERCIAL SHOPPING AND SERVICES; R-4 TOD — MULTY-FAMILY RESIDENTIAL GENERAL
PROPOSED ZONING: MU-4 — MIXED-USE, HIGH-DENSITY
OVERLAY DISTRICT: TOD/PAD — TRANSPORTATION / PLANNED AREA DEVELOPMENT

BUILDING AREAS & CONSTRUCTION TYPE: GROSS SF PER 2012 IBC (SEE A0.5.x)

	P1/GF	P2	2ND	3RD	4TH	5TH	6TH	TOTAL	TYPE
BUILDING I									
BLDG 1	76,119	59,418						135,537	I-A
BLDG 2			27,645	27,509	27,702	27,509	29,943	140,308	III-B
BLDG 3			28,018	28,018	28,168	28,018	29,730	141,952	III-B
BUILDING II									
BLDG 1	76,119	59,418						135,537	I-A
BLDG 2			27,645	27,509	27,702	27,509	29,943	140,308	III-B
BLDG 3			28,018	28,018	28,168	28,018	29,730	141,952	III-B
PLAZA 'A'	2,000							2,000	V-B
PLAZA 'B'	1,600							1,600	V-B

TOTAL ALL BUILDINGS: 839,194 SF

TOTAL GROUND FLR (P1/GF): = 155,838 SF

NET LOT COVERAGE : 155,838 / 410,659 SF = 37.9 %

OCCUPANCY GROUP (SEE SHEETS A0.6.x):

BUILDINGS I & II		
BLDG 1	A-2 / A-3 / B / M / R-2 / S-2 / U	MIXED-USE
BLDG 2&3	R-2	APARTMENT UNITS
PLAZA A&B	A-2	ASSEMBLY (BAR/RESTAURANT)

FIRE SPRINKLERS: YES - FULL NFPA 13, PER IBC SEC. 903.3.1.1

FIRE ALARM: YES - PER IBC. SEC. 907

ALLOWABLE AREAS AND HEIGHT (SEE SHEETS A0.6.x):

BLDGS I & II	PER FLOOR	TOTAL AREA	STORIES	HEIGHT	ACTUAL STORIES	ACTUAL HEIGHT
BLDG 1	ULIMITED	ULIMITED	ULIMITED		2	21'
BLDG 2	41,280	123,840	4+1 = 5	55'+20'=75'	5	74'
BLDG 3	41,280	123,840	4+1 = 5	55'+20'=75'	5	74'
PLAZA 'A' & 'B'	6,000	18,000	1+1 = 2	20'+20'=40'	1	26'

UNIT MIX & NET LIVABLE AREAS (SEE SHEETS A4.0.x) - CURRENTLY PROPOSED:

APARTMENTS:

UNIT TYPE	NUMBER OF UNITS	AVG. UNIT AREA	AVG. BALCONY AREA
1 BED/1.5 BATH	280	841 SF	93 SF
2 BED/2.5 BATH	120	1,284 SF	114 SF
3 BED/3.5 BATH	40	1,693 SF	162 SF
TOTAL UNITS	440	1,039 SF	105 SF

LIVE-WORK CONDOMINUMS:

UNIT TYPE	NUMBER OF UNITS	AVG. AREAS COMMERCIAL	LIVING	BALCONY
1 BED/1.5 BATH	10	645 SF	700 SF	125 SF

TOTAL LIVING UNITS: 450

TYPE 'A' UNITS: REQUIRED(IBC SEC. 1107.6.2.1.1): 2% OF TOTAL = 450 X 2% = 9.0
PROVIDED = 9 UNITS
ALL OTHER UNITS MEET TYPE 'B' ACCESSIBILITY STANDARDS

DENSITY - MAXIMUM ALLOWED: 65 DU / ACRE

DENSITY - CURRENTLY PROPOSED:
450 UNITS / 9.52 AC=47.27 DU / GROSS ACRE

OPEN SPACE PROVIDED ON-SITE:

	AREA	% OF NET SITE
SITE/GROUND LEVEL OPEN SPACE (SEE A1.9)		
- CENTER PLAZA (LANSDSCAPE/HARDSCAPE)	10,664 SF	2.6 %
- LANDSCAPE/PLANTERS	45,853 SF	11.2 %
- SIDEWALK/HARDSCAPE (FROM BUILDING TO CURB OR P.L.)	25,263 SF	6.2 %
TOTAL SITE/GROUND FLOOR	**81,779 SF**	**20.0 %**
DECK PARKS/2ND FLOOR		
- DECK PARKS (11,100 SF EA. X 2)	22,200 SF	5.4 %
TOTAL SITE AND DECK PARKS	**103,979 SF**	**25.3%**
PRIVATE OPEN SPACE(RESIDENTS)		
- PRIVATE BALCONIES AND PATIOS (105 SF AVE / UNIT)	46,200 SF	11.3 %
ROW IMPROVEMENTS PROVIDED:		
- LANDSCAPE/PLANTERS:	9,417 SF	
- SIDEWALK/HARDSCAPE:	7,105 SF	
TOTAL	**16,522 SF**	

Parking Required - RESIDENTIAL			VEHICLES				BICYCLE	
	Quantity	Type	Ratio	Required	Ratio	Required		
UNITS	290	1 Bed	1.75 SP / Bed		218	0.75 SP / Unit	218	
	120	2 Bed	1.75 SP / Bed		180	0.75 SP / Unit	90	
	40	3 Bed	1.75 SP / Bed		70	1.0 SP / Unit	40	
Total	450				468		348	

Parking Required - GUEST								
Guest	Quantity	Type	Ratio	Required	Ratio	Required		
	450	Units	20 SP / Unit		90	0.2 SP / Unit	90	
Total Required - RESIDENTIAL & GUEST					579		438	

Parking Provided - RESIDENTIAL					BICYCLE
	Location	Standard	Accessible	Total	
Building I	Garage P1 & P2	275	6	281	180
Building II	Garage P1 & P2	275	6	281	180
Total Parking Provided		550	12	562	360

Accessible Spaces required: 2% of total spaces provided 12

Parking for residential units provided within each secured/reserved building parking garage
Commercial users and Guests to not have access to residential parking garages
Bicycle spaces for residential units provided within each building parking garage, as well as in a dedicated bike storage/repair room at grade level of each building

Parking Required - COMMERCIAL			VEHICLES				BICYCLE	
Commercial	Net Area	Use	Ratio	Required	Ratio	Required		
	2,500	Bar	1 SP / 50 sf *		25	1 / 500 sf	5	
	11,800	Restaurant	1 SP / 75 sf		157	1 / 500 sf	24	
	7,000	Gym/Yoga	1 SP / 125 SF		56	1 / 2,000	4	
	14,409	Office/Retail	1 SP / 300 sf **		24	1 / 7,500 sf	2	
Total	35,709				262		34	

* Parking waived for 50% of floor area, not to exceed 2,500 SF of floor area
** Parking waived for 50% of floor area, not to exceed 30,000 SF

Total Required - COMMERCIAL & GUEST 352 124

Parking Provided - COMMERCIAL / GUEST		VEHICLES			BICYCLE
	Location	Standard	Accessible	Total	
Surface	On-Site	72		72	90
	Parking Lot #1	152	7	159	
	Parking Lot #2	117	5	122	34
Total Parking Provided		341	12	353	124

Accessible Spaces required: 2% of total spaces provided 8

	VEHICLES	BICYCLE
Total Required - ENTIRE PHASE I	846	472
Total Provided - ENTIRE PHASE I	915	484

Revisions

#	Description	Date

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JOB NUMBER:
DRAWN BY: AD
CHECKED BY: KS
ISSUE DATE: 07/13/2016

32407 KRISTJAN SIGURDSSON ARIZONA U.S.A.

SHEET TITLE:
Site Plan - Phase I - Ground Level

SHEET NUMBER:
A1.3

PAD / DPR #4

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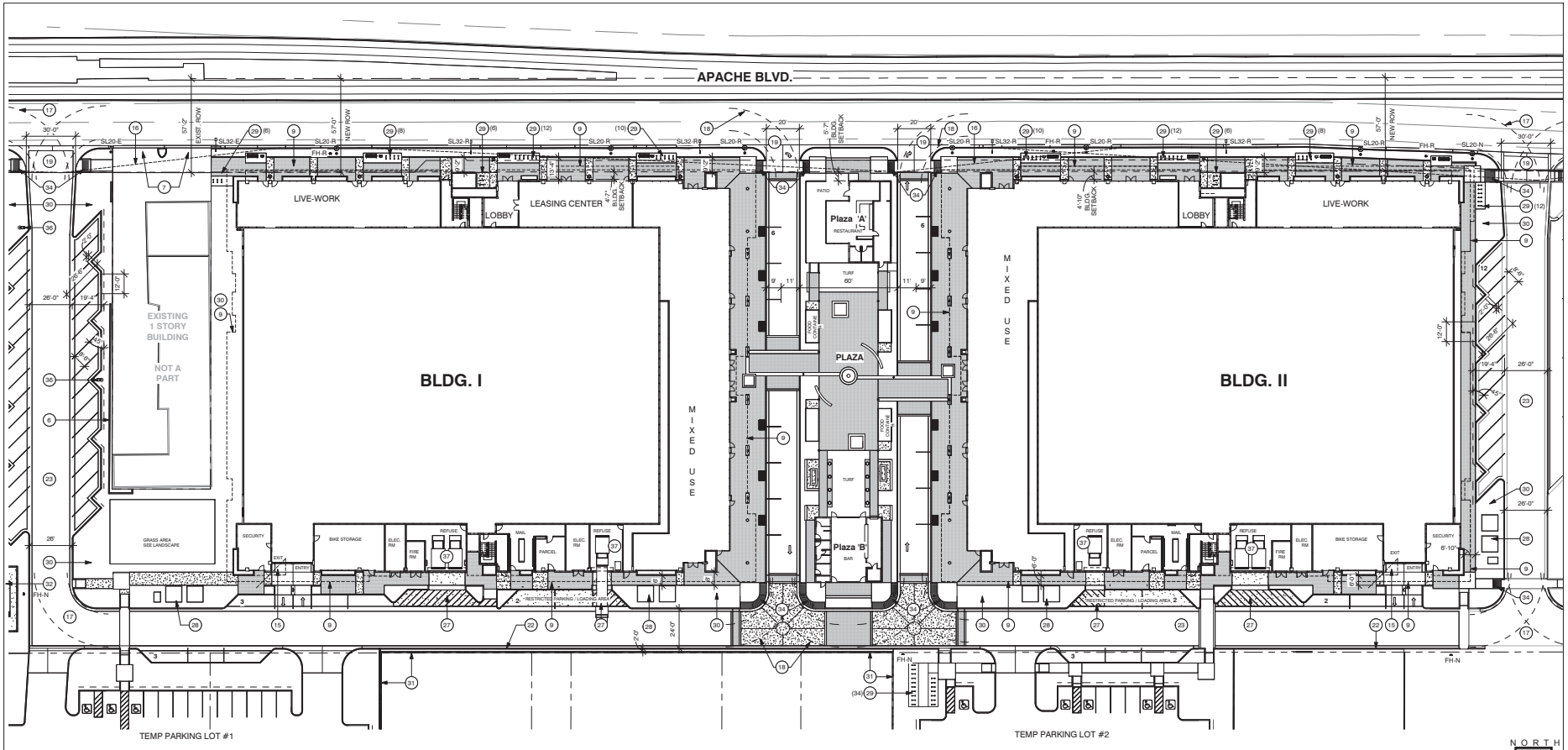


1 SITE PLAN - PHASE I - BLDG I & BLDG II - Ground Level
1" = 30'-0"

SCALE: 0' - 1" = 30' - 0"
0' 15' - 0" 30' - 0" 60' - 0"

LEGEND

- ENHANCED HARDSCAPE (PAVERS, EXPOSED AGGREGATE AND/OR COLORED CONCRETE)
- PAVEMENT, SIDEWALKS, AND PLAZA
- EXACT TYPE, COLOR AND PATTERN TBD.

ABBREVIATIONS:

FH	FIRE HYDRANT	
MH	MANHOLE	
SL20	STREETLIGHT 20'H	(COT. DET. T-645)
SL32	STREETLIGHT 32'H	(COT. DET. T-652)
E	EXISTING	
R	EXISTING - RELOCATED WHERE SHOWN	
N	NEW	

SITE PLAN KEYNOTES

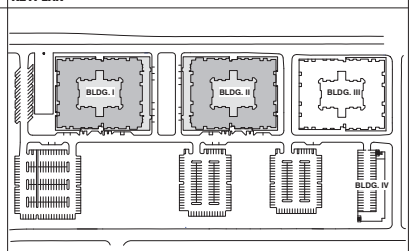
(#) ALL KEYNOTES DO NOT APPEAR ON ALL SHEETS

1. EXISTING VERTICAL CONC. CURB AND GUTTER
2. EXISTING CONC. SIDEWALK
3. EXISTING ROLLED CONC. CURB AND GUTTER
4. EXISTING TRAFFIC SIGNAL LIGHT
5. EXISTING ACCESSIBLE SIDEWALK RAMPS
6. EXISTING 6'H CMU FENCE - STUCCO AND PAINT ON PROJECT SIDE
7. EXISTING DRIVEWAY
8. RETENTION AREA - REFER TO CIVIL
9. LINE OF SHADE CANOPY ABOVE OR CONCRETE DECK ABOVE
10. 8" CMU WALL - 36"H W/ 4" CAP
11.
12.
13.
14.
15. 10'-0" x 10'-0" CLEAR VISION TRIANGLE
16. SIGHT DISTANCE LINE.
17. FIRE TRUCK TURNING RADIUS (25' INSIDE / 45' OUTSIDE)
18. TRUCK TURNING RADIUS (SU-30)
19. RETURN TYPE DRIVEWAY ENTRANCE PER COT STD. DET. T-319 WITH SIDEWALK SCOOP RAMP PER DET. T-348 - WIDTH AS SHOWN
20. VERT. CONC. CURB AND GUTTER
21. 6" VERT. CONC. CURB
22. TEMPORARY 6" EXTRUDED CONCRETE CURB
23. ASPHALT PAVING
24. 4"W PARKING STRIPE
25. 2'-0" VEHICLE OVERHANG
26. ACCESSIBLE SIGNAGE AND STRIPING PER COT STD. DET. T-360
27. LOADING AND DELIVERY ZONE - 6" REINFORCED CONCRETE SLAB
28. PROPOSED SRP TRANSFORMER LOCATION
29. BIKE RACK PER COT STD. DET. T-578 (# OF BIKES AS SHOWN)
30. LANDSCAPE AREA
31. (TEMPORARY) 8'H CMU SITE/SCREEN WALL
32. GENERATOR WITH 10' H CMU SCREEN WALL
33. CONCRETE SIDEWALK
34. ACCESSIBLE CURB RAMP
35. SIDEWALK - PER TOD STANDARD ALONG STREET FRONTAGE
36. POLE LIGHT - SEE PHOTOMETRICS
37. TRASH / RECYCLE COMPACTOR
38.
39.
40.

GENERAL NOTES

1. PLAZA BUILDINGS 'A' & 'B' AND ALL FOOD CONTAINER BUILDINGS UNDER SEPERATE DEVELOPMENT PLAN REVIEW AT A LATER DATE.
2. PUBLIC ART TO BE PROVIDED IN PLAZA AREA BETWEEN BUILDIGNS I & II, IN COMPLIANCE WITH ZDC SEC. 4-407. LOCATION AND TYPE TO BE DETERMINED

KEYPLAN



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ISSUE DATE: 07/13/2016

REGISTERED ARCHITECT 32407 KRISTJAN SIGURDSSON ARIZONA U.S.A.

SHEET TITLE:
Enlarged Site Plan - Phase I - Ground Lvl

SHEET NUMBER:

A1.4.1

PAD / DPR #4

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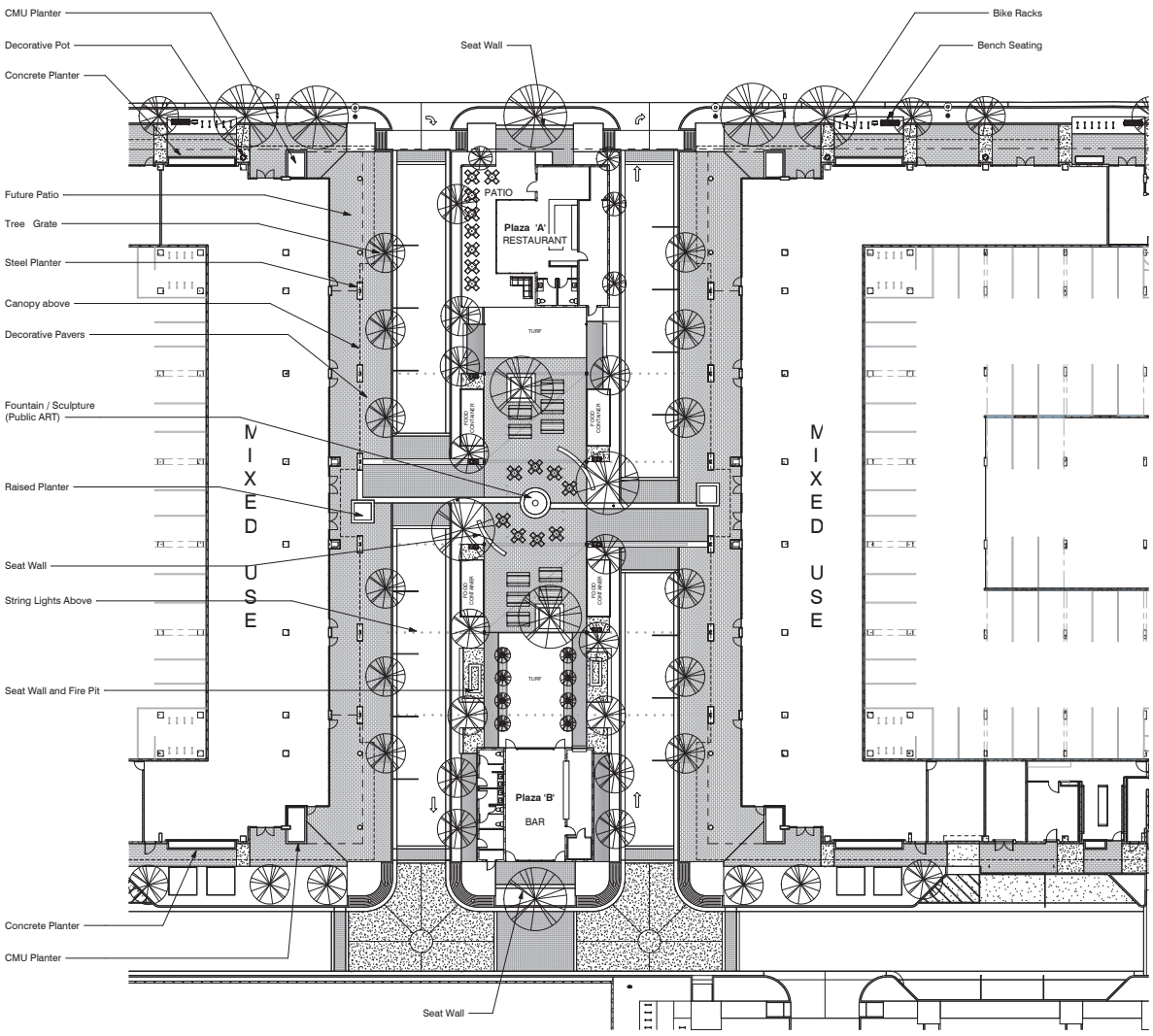

1 ENLARGED SITE PLAN - PLAZA
1" = 20'-0"

SCALE: 0' - 1" = 20' - 0"
0' 10' - 0" 20' - 0" 40' - 0"

NORTH

NOTE:
PLAZA BUILDINGS 'A' & 'B' AND ALL FOOD CONTAINER BUILDINGS UNDER SEPRATE DEVELOPMENT PLAN REVIEW AT LATER DATE

Street Food Containers
Character Images

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32407 KRISTJAN SIGURDSSON

SHEET TITLE:
Enlarged Site Plan - Plaza

SHEET NUMBER:
A1.4.3

PAD / DPR #4

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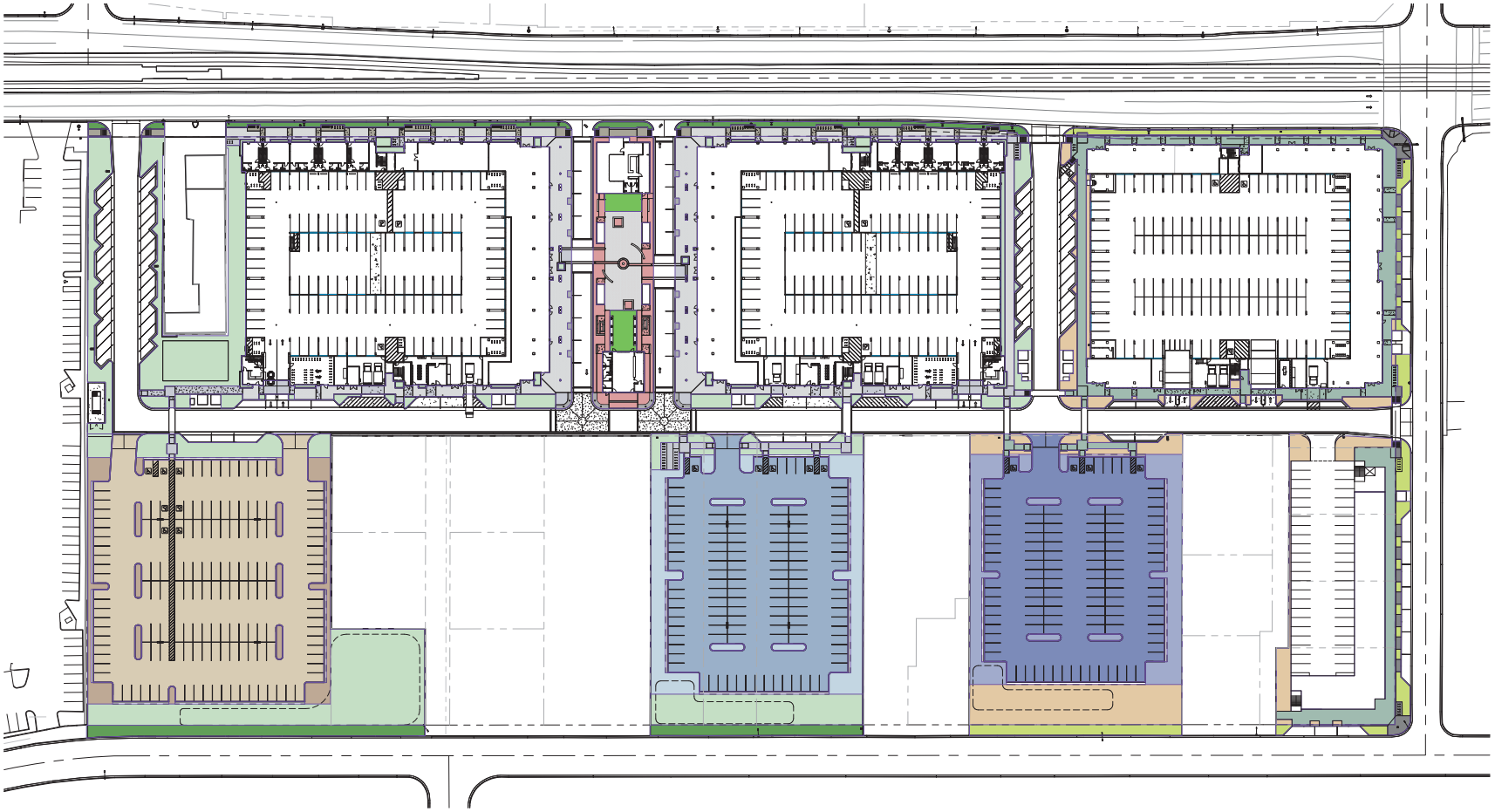

1 Open Space Areas
1" = 50'-0"

SCALE: 0' - 1" = 50' - 0"
0' 25' - 0" 50' - 0" 100' - 0"

NORTH

Open Space Legend

- Hardscape
- Landscape
- Plaza Landscape / Hardscape
- ROW - Hardscape
- ROW - Landscape
- Phase II - Landscape
- Phase II - R.O.W. Landscape
- Phase II - R.O.W. Hardscape
- Phase II - Hardscape
- Parking Lot #1 - Landscape
- Parking Lot #1 - Paving
- Parking Lot #2 - Landscape
- Plaza Landscape (Turf)
- Parking Lot #2 - Paving
- Parking Lot #3 - Landscape
- Parking Lot #3 - Paving

PHASE I - NET SITE AREA: 410,659 sf = 9.43 Acres

OPEN SPACE AREAS - PHASE I

Area Designation	Area	% OF NET AREA
Hardscape	25263 SF	6.2%
Landscape	45853 SF	11.2%
Plaza Landscape (Turf)	1697 SF	0.4%
Plaza Landscape / Hardscape	8967 SF	2.2%
Grand total	81779 SF	20.0%

ROW IMPROVEMENTS - PHASE I

Area Designation	Area
ROW - Hardscape	7105 SF
ROW - Landscape	9417 SF
Grand total	16522 SF

OVERALL - NET SITE AREA: 586,566 sf = 13.47 Acres

OPEN SPACE AREAS - PHASE I & II

Area Designation	Area	% OF NET AREA
Hardscape	25263 SF	4.3%
Landscape	45853 SF	7.8%
Phase II - Hardscape	16946 SF	2.9%
Phase II - Landscape	16237 SF	2.8%
Plaza Landscape (Turf)	1697 SF	0.3%
Plaza Landscape / Hardscape	8967 SF	1.5%
Grand total	114963 SF	19.6%

ROW IMPROVEMENTS - PHASE I & II

Area Designation	Area
ROW - Landscape	9417 SF
ROW - Hardscape	7105 SF
Phase II - R.O.W. Landscape	6898 SF
Phase II - R.O.W. Hardscape	2587 SF
Grand total	26007 SF

OPEN SPACE AREAS - Parking Lot #1

Area Designation	Area	
Parking Lot #1 - Paving	51107 SF	
Parking Lot #1 - Landscape	5177 SF	10.1%
Grand total	56284 SF	

OPEN SPACE AREAS - Parking Lot #2

Area Designation	Area	
Parking Lot #2 - Paving	37642 SF	
Parking Lot #2 - Landscape	9311 SF	24.7%
Grand total	46953 SF	

OPEN SPACE AREAS - Parking Lot #3

Area Designation	Area	
Parking Lot #3 - Paving	36263 SF	
Parking Lot #3 - Landscape	9317 SF	25.7%
Grand total	45580 SF	

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SHEET TITLE:
Open Space Plan

SHEET NUMBER:

A1.9

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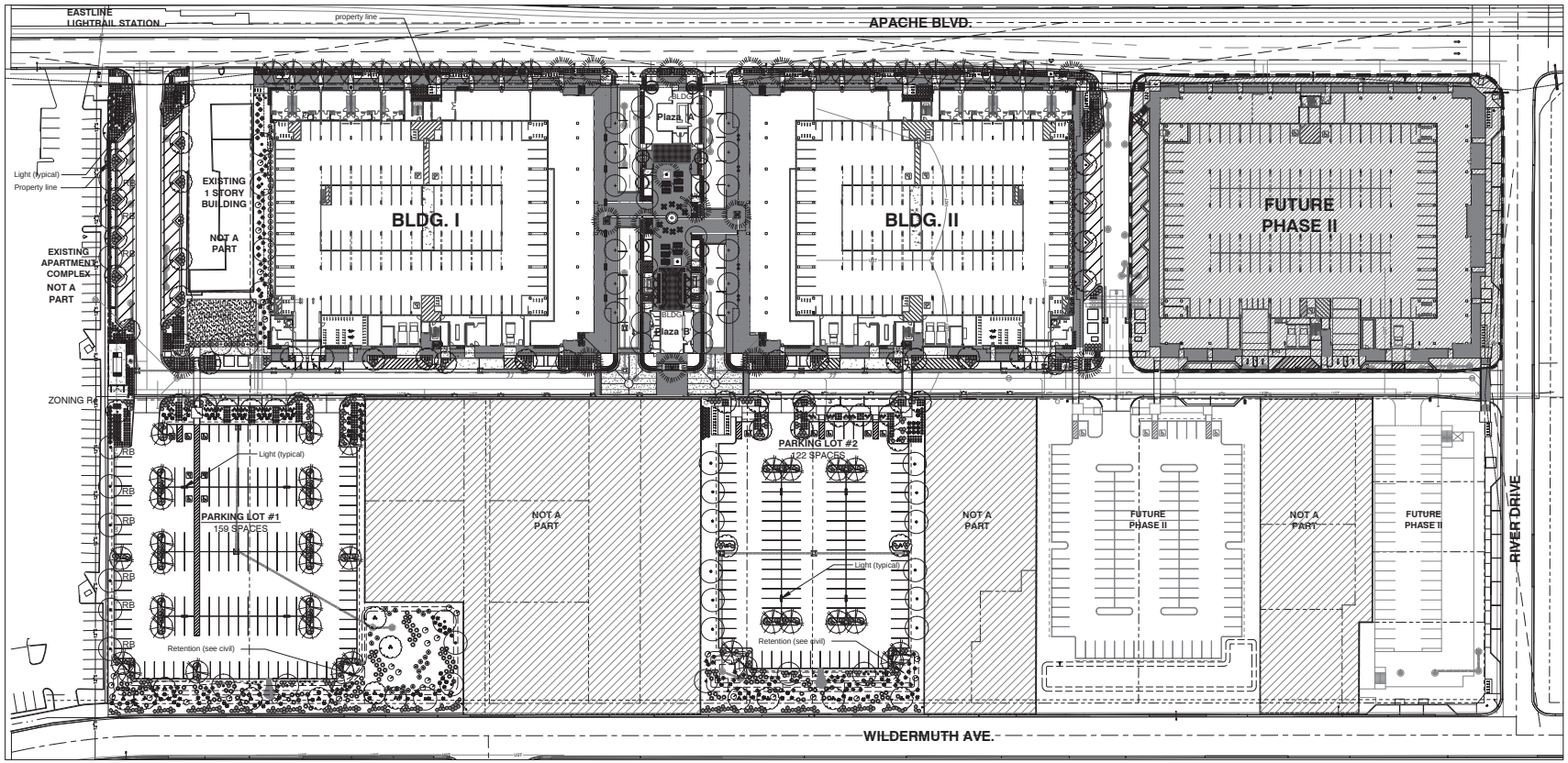


MASTER CONCEPTUAL LANDSCAPE PLAN - Ground Level

1" = 50'-0"

NOTE:

RB - Tree to receive Root Barrier per Detail on Sheet CL.03
All trees within 16' of underground public water or sewer lines

0 25' 50' 100'

SCALE: 1" = 50'

NORTH

LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS @ TIME OF PLANTING (ALL STREET TREES TO BE A MIN. OF 1.5" CALIPER)

U.O.N - Unless otherwise noted

TREES	SIZE	QTY
Pistache chinensis Chinese Pistache	60" Box Matching	
Ulmus parvifolia Evergreen Elm	36" Box (unless noted otherwise) Standard, Matching 24" Box	
Quercus virginiana Heritage Live Oak	36" Box Standard, Matching	
Fraxinus velutina 'Rio Grande' Fan - Tex Tree	48" Box Standard, Matching	
Eucalyptus papuana Ghost Gum	24" Box Standard, Matching	
Parkinsonia Hybrid Desert Museum Palo Verde	24" Box Multi-trunk, Matching	
Phoenix dactylifera Date Palm Pool Area Only	16' Trunk Feet Diamond Cut, Straight and Matching	
Nerium Oleander "Standard Red" Oleander Tree " Red"	36" Box Standard, Matching	

SHRUBS & VINES	SIZE
Pennnisetum setaceum 'Rubrum' Purple Fountain Grass	5 gallon
Dasylirion longissimum Mexican Grass Tree	5 gallon
Chamaerops humilis Mediterannean Fan Palm	24" box
Bougainvillea 'Barbara Karst' Bougainvillea 'staked' (remove from stake, espalier)	5 gallon
Aloe vera Medicinal Aloe	5 gallon
Yucca rupicola Twisted Yucca	5 gallon
Muhlenbergia Sp. Muhlenbergia Grass	5 gallon
Leucophyllum fruetescens "Compacta" Compact Texas Sage	5 gallon
Callistemon citrinus 'Little John' Dwarf Bottlebush	5 gallon
Nerium Oleander "petite pink" Dwarf Pink Oleander	5 gallon
Euphorbia rigida Gopher Plant	5 gallon
Ruellia brittoniana 'Katie' Little Katie Ruellia	5 gallon
Aloe sp. Aloe	5 gallon
Pedilanthus macrocarpus Lady's Slipper	5 gallon
Caesphinia mexicana Mexican Bird of Paradise	5 gallon
Agave geminflora Twin Flower Agave	5 gallon

SHRUBS & VINES	SIZE
Hesperaloe funifera Giant Yucca	5 gallon
Hesperaloe parviflola Brakelight	5 gallon
Hesperaloe parviflola 'Yellow Yucca' Yellow Yucca	5 gallon
Ficus m nitida 'Column' Indian Laurel Fig	24" Box, matching, standard 8' Tall Min. 8' Min. height prior to planting plant material 48" o.c to create a continuous live screen wall.

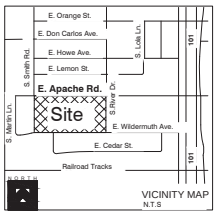
GROUNDCOVER	SIZE
Lantana montevidensis Gold Mound Lantana	5 gallon
Lantana montevidensis Purple Trailing Lantana	5 gallon
Tradescantia pallida Purple Heart	5 gallon
Decomposed Granite - 2" Depth, 1/2" select 'Express Brown' In all non turf landscape areas	
Rip Rap - 3"-6" 'Express Brown' cobble to be used as erosion/ water Control device, curb cuts, down spouts (grouted. match granite color)	
Mid Iron Sod	
3/16" x 4" Steel Header (secure every 4')	

CPTED NOTES:

All shrubs and groundcovers used in the following locations will not exceed 24" in height when mature.

Parking - Landscape Islands
Parking - Borders From 0' to 6'
Walks - From 0' to 6'
Entry - 15' Radius
Sight Triangles

All shrubs and groundcovers used in parking islands shall be a min. size of 5 gallon.
Per the City of Tempe Standards



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JOB NUMBER:
DRAWN BY: DD
CHECKED BY: HAL
ISSUE DATE: 06/22/16

HARDY A. LASKIN 20088 6.15.2016 REGISTERED LANDSCAPE ARCHITECT ARIZONA U.S.A.

SHEET TITLE:
Conceptual Landscape Plan

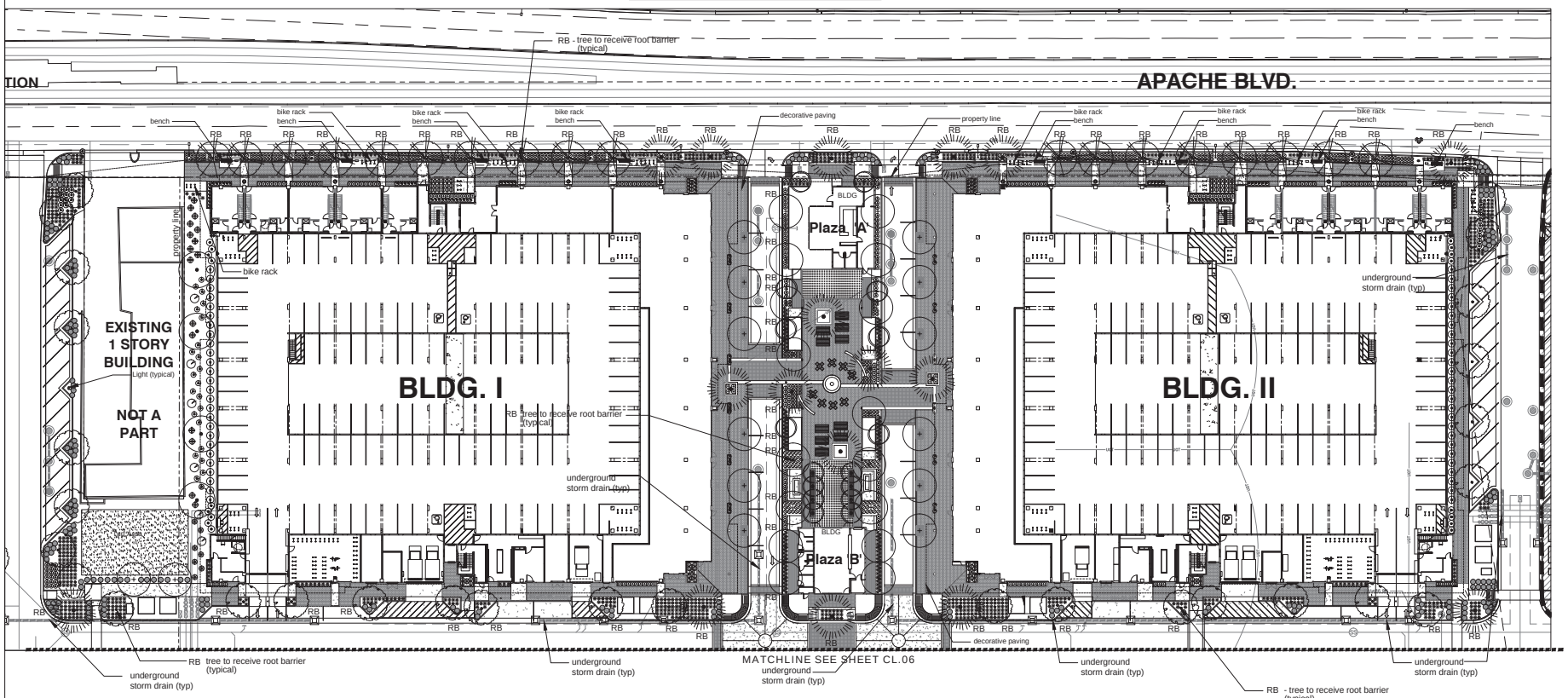
SHEET NUMBER:
CL.01
of 6

PAD / DPR
Review #3

ATTACHMENT 27

NOTE:

RB - Tree to receive Root Barrier per Detail on Sheet CL.03
All trees within 16' of underground public water or sewer lines



CONCEPTUAL LANDSCAPE PLAN - PHASE I - BLDG I & BLDG II - Ground - Level

1" = 30'-0"

SCALE: 1" = 30'

NORTH

LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS @ TIME OF PLANTING (ALL STREET TREES TO BE A MIN. OF 1.5" CALIPER)

U.O.N - Unless otherwise noted

TREES	SIZE	QTY
Pistache chinensis Chinese Pistache	60" Box Matching	
Ulmus parvifolia Evergreen Elm	36" Box (unless noted otherwise) Standard, Matching	
Quercus virginiana Heritage Live Oak	36" Box Standard, Matching	
Fraxinus velutina 'Rio Grande' Fan - Tex Tree	48" Box Standard, Matching	
Eucalyptus papuana Ghost Gum	24" Box Standard, Matching	
Parkinsonia Hybrid Desert Museum Palo Verde	24" Box Multi-trunk, Matching	
Phoenix dactylifera Date Palm Pool Area Only	16' Trunk Feet Diamond Cut, Straight and Matching	
Nerium Oleander "Standard Red" Oleander Tree " Red"	36" Box Standard, Matching	

SHRUBS & VINES	SIZE
Pennnisetum setaceum 'Rubrum' Purple Fountain Grass	5 gallon
Dasylirion longissimum Mexican Grass Tree	5 gallon
Chamaerops humilis Mediterannean Fan Palm	24" box
Bougainvillea 'Barbara Karst' Bougainvillea 'staked' (remove from stake, espalier)	5 gallon
Aloe vera Medicinal Aloe	5 gallon
Yucca rupicola Twisted Yucca	5 gallon
Muhlenbergia Sp. Muhlenbergia Grass	5 gallon
Leucophyllum truetescens "Compacta" Compact Texas Sage	5 gallon
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Pedilanthus macrocarpus Lady's Slipper	5 gallon
Caesalphinia mexicana Mexican Bird of Paradise	5 gallon
Agave geminiflora Twin Flower Agave	5 gallon

SHRUBS & VINES	SIZE
Hesperaloe funifera Giant Yucca	5 gallon
Hesperaloe parviflora Brakelight	5 gallon
Hesperaloe parviflora 'Yellow Yucca' Yellow Yucca	5 gallon
Ficus m nitida 'Column' Indian Laurel Fig	24" Box, matching, standard 8' Tall Min. 8' Min. height prior to planting plant material 48" o.c to create a continuous live screen wall.

GROUNDCOVER	SIZE
Lantana montevidensis Gold Mound Lantana	5 gallon
Lantana montevidensis Purple Trailing Lantana	5 gallon
Tradescantia pallida Purple Heart	5 gallon
Decomposed Granite - 2" Depth, 1/2" select 'Express Brown' in all non turf landscape areas	
Rip Rap - 3"-6" 'Express Brown' cobble to be used as erosion/ water Control device, curb cuts, down spouts (grouted. match granite color)	
Mid Iron Sod	

3/16" x 4" Steel Header (secure every 4')

CPTED NOTES:

All shrubs and groundcovers used in the following locations will not exceed 24" in height when mature.

Parking - Landscape Islands
Parking - Borders From 0' to 6'
Walks - From 0' to 6'
Entry - 15' Radius
Sight Triangles

All shrubs and groundcovers used in parking islands shall be a min. size of 5 gallon.
Per the City of Tempe Standards

Streetscape Pots

Streetscape Trash

Streetscape Bench

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HARDY A. LASKIN 20088 6.15.2016 Signed

SHEET TITLE:
Conceptual Landscape Plan

SHEET NUMBER:

CL.02

of 6

PAD / DPR Review #3

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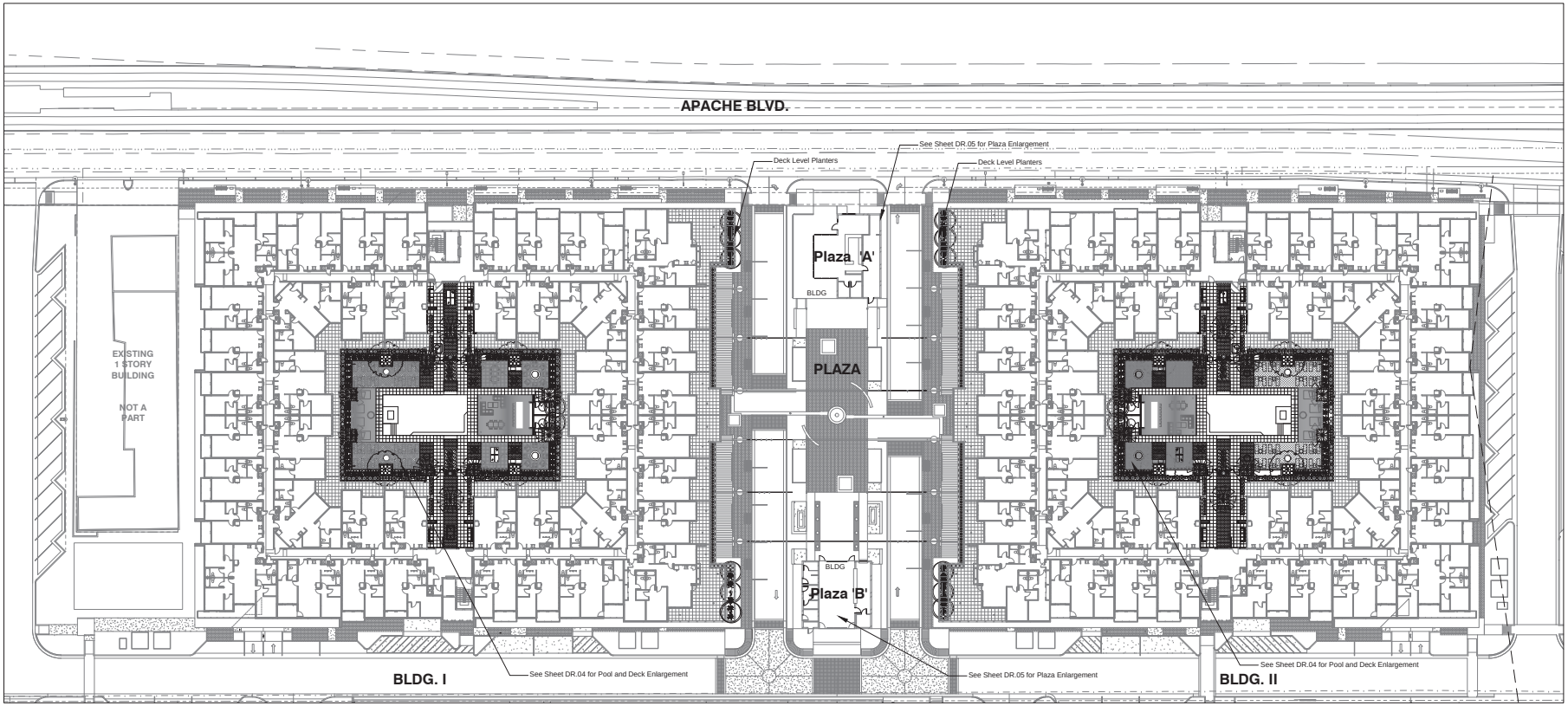


CONCEPTUAL LANDSCAPE PLAN - PHASE I - BLDG I & BLDG II - Deck Park Level
1" = 30'-0"

0 15' 30' 60'
SCALE: 1" = 30'

NORTH

LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS @ TIME OF PLANTING

TREE	SIZE
Quercus virginiana Heritage Live Oak	48" Box Standard, Matching
Phoenix dactylifera Date Palm	16' Trunk Feet Diamond Cut, Straight and Matching
Chamaerops humilis Mediteranneanean Fan Palm	36" box Multi-Trunk

SHRUBS & VINES	SIZE
Dasylirion longissimum Mexican Grass Tree	5 Gallon
Bougainvillea 'Barbara Karst' Bougainvillea 'staked'	15 Gallon
Callistemon citrinus 'Little John' Dwarf Bottlebush	5 Gallon
Euphorbia rigida Gopher Plant	5 Gallon
Ruellia brittoniana 'Katie' Little Katie Ruellia	5 Gallon
Hesperaloe funifera Giant Yucca	15 Gallon
Hesperaloe parviflora Brakelight	5 Gallon
Lantana montevidensis Gold Mound Lantana	5 Gallon
Dodonaea viscosa Hopseed Bush	5 Gallon
Aloe saponaria African Aloe	5 Gallon

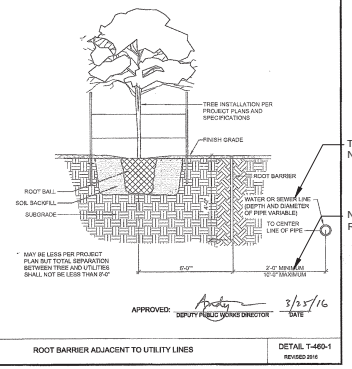
CPTED NOTES:

All shrubs and groundcovers used in the following locations will not exceed 24" in height when mature.

Parking - Landscape Islands
Parking - Borders From 0' to 6'
Walks - From 0' to 6'
Entry - 15' Radius
Sight Triangles

All shrubs and groundcovers used in parking islands shall be a min. size of 5 gallon.
Per the City of Tempe Standards

NOTES:
1. PUBLIC UTILITY LINES INCLUDE WATER, SANITARY SEWER, STORM DRAIN AND IRRIGATION MAIN LINES.
2. A ROOT BARRIER IS REQUIRED FOR ANY TREES PLANTED LESS THAN 16'-0" FROM EXISTING OR PROPOSED PUBLIC UTILITY LINES.
3. TREES PLANTED MORE THAN 16'-0" FROM UTILITY LINES DO NOT REQUIRE A ROOT BARRIER.
4. TREES SHALL NOT BE PLACED CLOSER THAN 8'-0" FROM UTILITY LINES.
5. ROOT BARRIER SHALL BE A CONTINUOUS MATERIAL WITH A MINIMUM THICKNESS OF .08 INCHES.
6. ROOT BARRIER SHALL BE INSTALLED TO A MINIMUM DEPTH OF 4'-0", WITH THE TOP EDGE FLUSH WITH FINISH GRADE. ROOT BARRIER INSTALLED UNDER HARDSCAPE (CONCRETE, ASPHALT, PAVERS) SHALL TERMINATE AT THE BOTTOM OF HARDSCAPE.
7. ROOT BARRIER SHALL EXTEND 6'-0" ON BOTHER SIDE OF THE TREE PARALLEL TO THE UTILITY LINE FOR A MINIMUM LENGTH OF 10'-0".
8. ALL INSTALLATIONS ARE SUBJECT TO APPROVAL BY THE CITY OF TEMPE PUBLIC WORKS WATER UTILITIES DIVISION.
9. ONLY TREES LISTED ON DETAIL T-460-2 WILL BE PERMITTED LESS THAN 16'-0" FROM UTILITY LINES.



Tree Root Barrier only required at Public Water and Sewer Lines
Not Private Storm Piping, UG Telephone, Electric or Gas

No trees within 8' of Water or Sewer Line
Root barrier on all trees between 8' - 16'

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JOB NUMBER:
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SHEET TITLE:
Conceptual Landscape Plan

SHEET NUMBER:
CL.03
of 6

PAD / DPR Review #3

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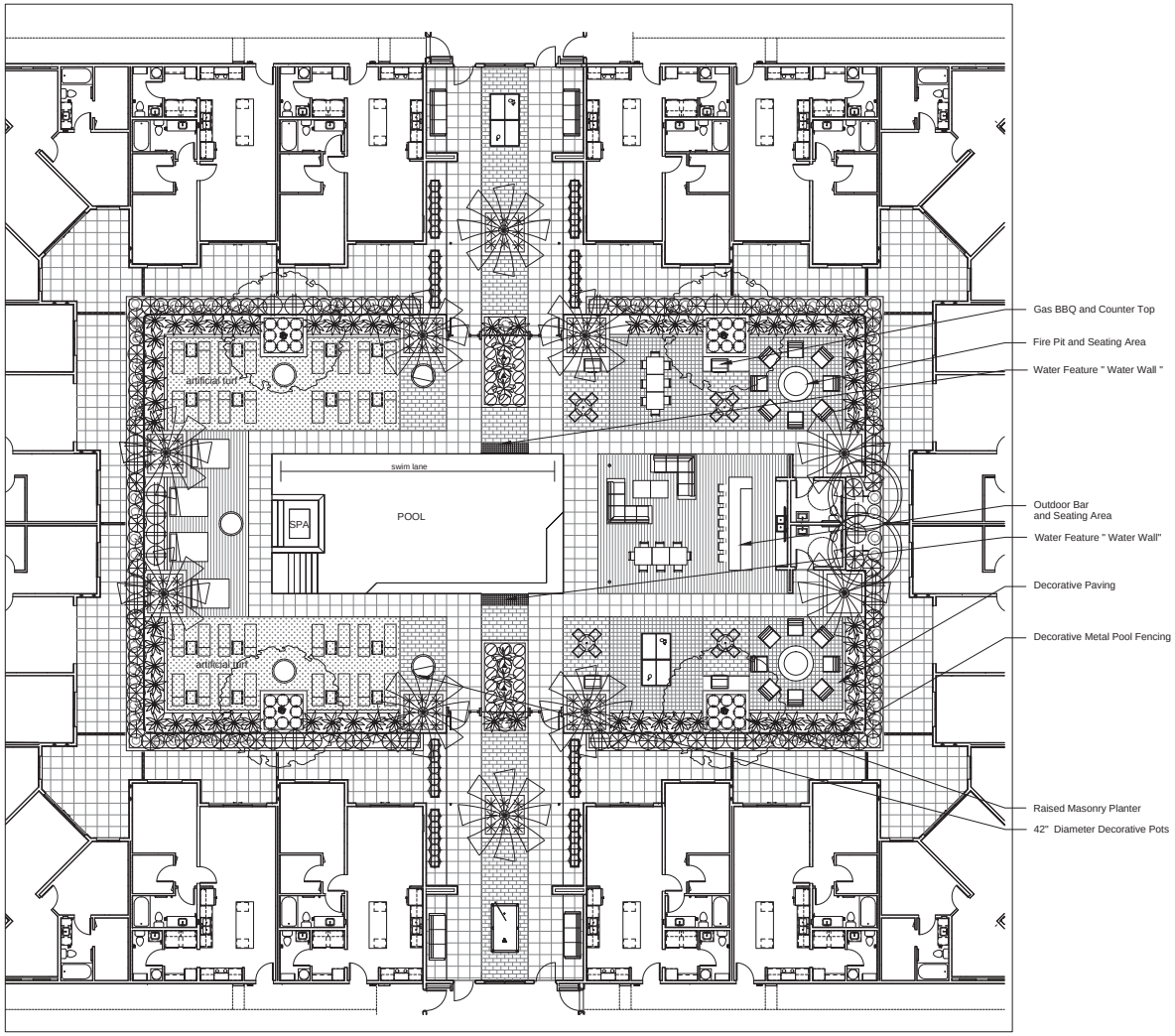

CONCEPTUAL DECK PARK TYPICAL

1" = 10'-0"

0 5' 10' 20'
SCALE: 1" = 10'

NORTH

42" Diameter Decorative Fiberglass Pot
Color and Textures Available

LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS @ TIME OF PLANTING

TREE	SIZE
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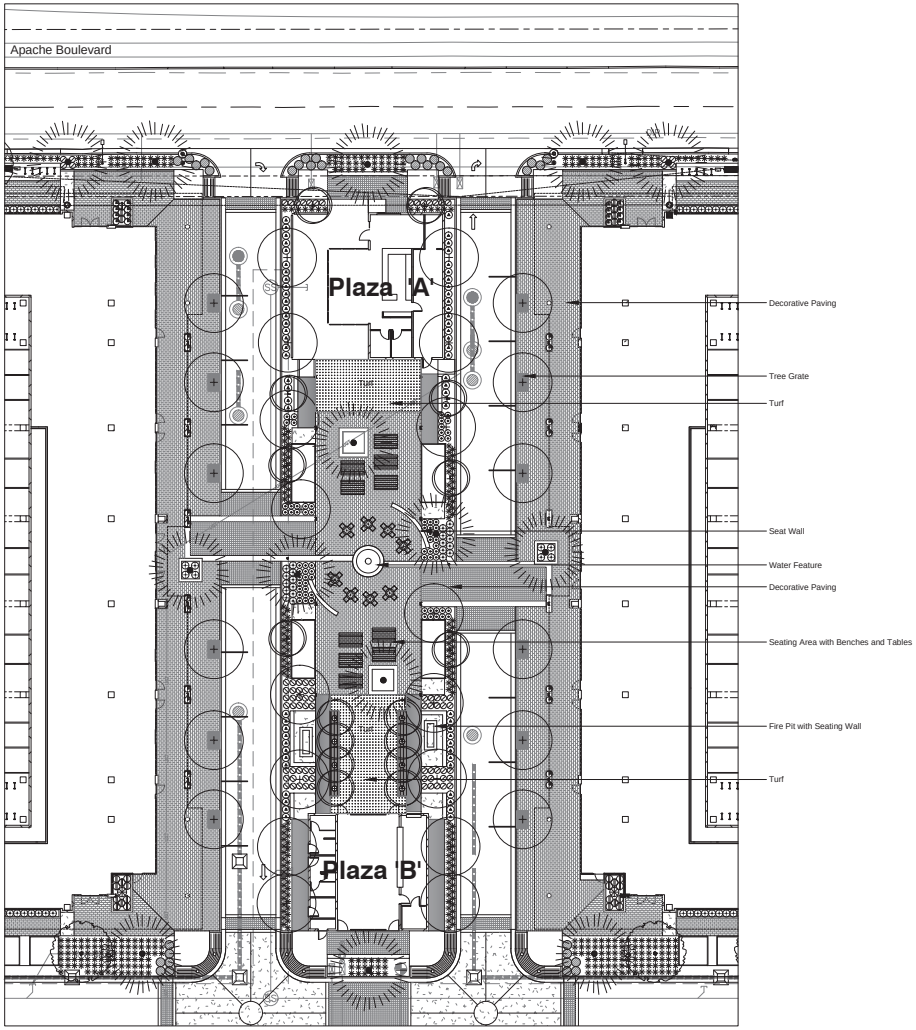

CONCEPTUAL STREET LEVEL PLAZA ENLARGEMENT

1" = 20'-0"

0 10' 20' 40'
SCALE: 1" = 20'

LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS @ TIME OF PLANTING

U.O.N - Unless otherwise noted

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In all non turf landscape areas

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3/16" x 4" Steel Header (secure every 4")

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REGISTERED LANDSCAPE ARCHITECT
20088
HARDY A. LASKIN
6.15.2016
Signature
ARIZONA, U.S.A.

SHEET TITLE:
Conceptual Landscape Plan

SHEET NUMBER:
CL.05
of 6

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Review #3

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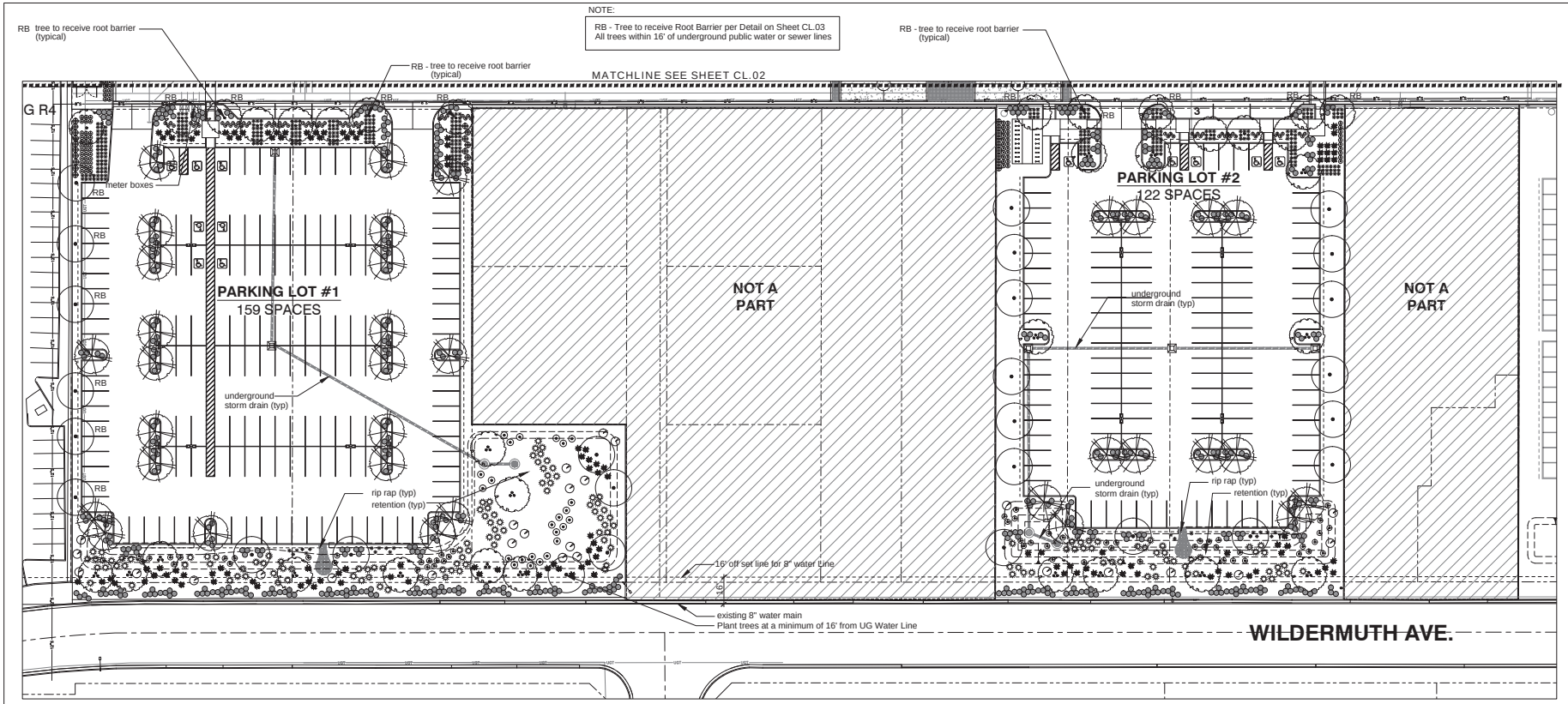

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SCALE: 1" = 30'
0 15' 30' 60'
NORTH

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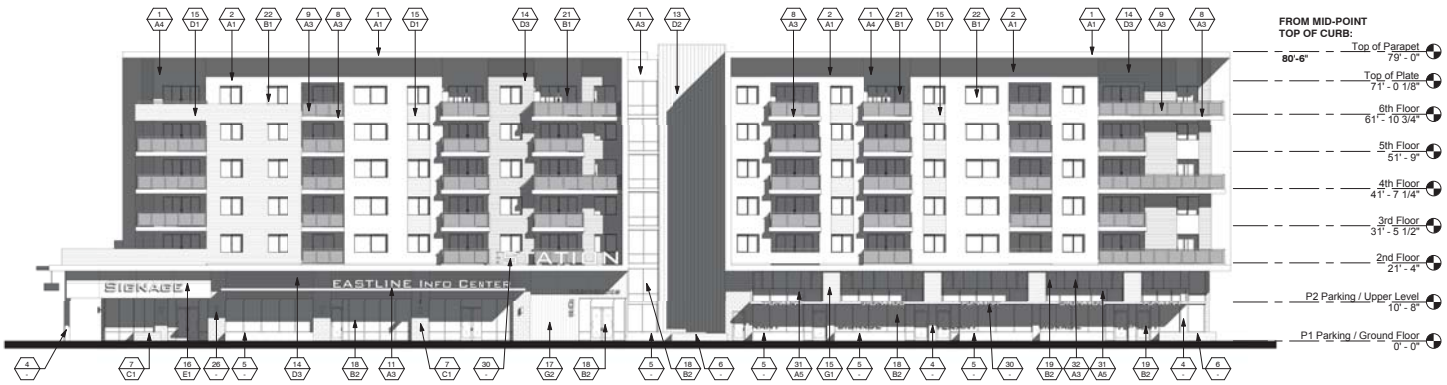
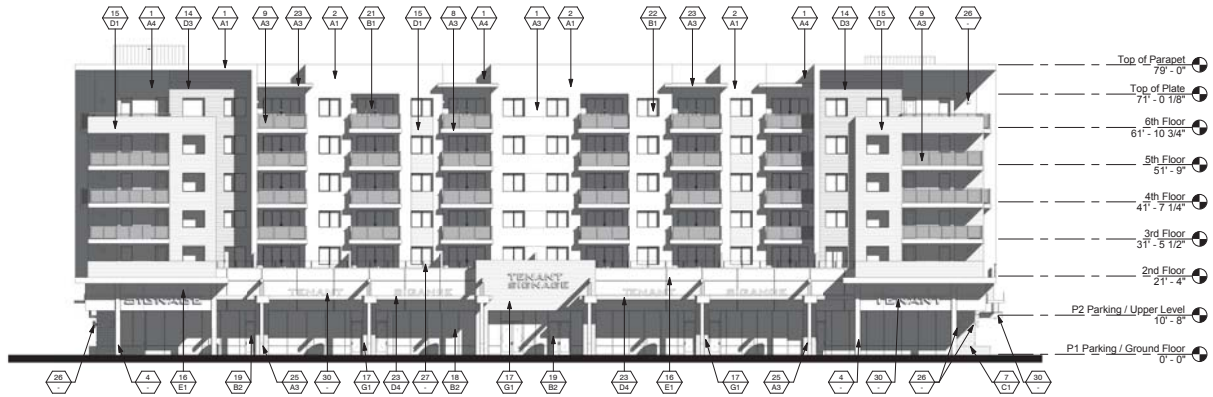
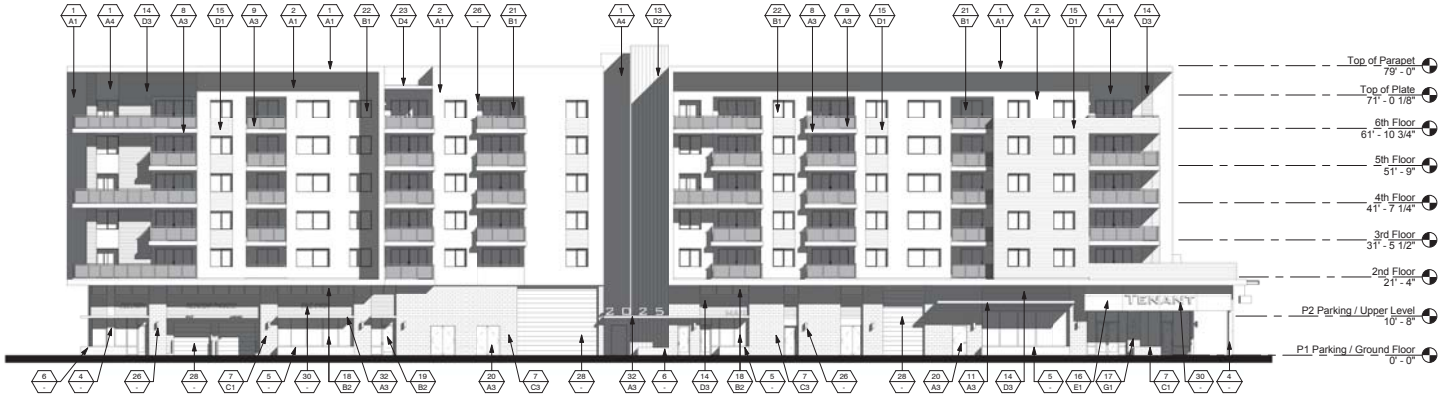


1 Bldg I - North Elevation
1/16" = 1'-0"



2 Bldg I - East Elevation
1/16" = 1'-0"



3 Bldg I - South Elevation
1/16" = 1'-0"

MATERIAL / COLOR SCHEDULE

MATERIAL / KEYNOTE — X
COLOR — X

MATERIALS / KEYNOTES

1. EIFS SYSTEM OVER 1" EPS INSULATION BOARD - INTEGRAL COLOR TO MATCH PAINT COLOR SPECIFIED
2. EIFS SYSTEM OVER 2" EPS INSULATION BOARD - INTEGRAL COLOR TO MATCH PAINT COLOR SPECIFIED
3. CAST IN PLACE CONCRETE WALL - SMOOTH/NATURAL FINISH
4. CAST IN PLACE CONCRETE COLUMN - SMOOTH/NATURAL FINISH
5. CAST IN PLACE CONCRETE PLANTER - SMOOTH/NATURAL FINISH
6. CAST IN PLACE BOARD FORMED CONCRETE PLANTER - NATURAL FINISH
7. EXPOSED MASONRY - RUNNING BOND, RAKED JOINTS
8. BALCONY FACIA - POWDERCOATED T-BAR AND EIFS TO MATCH PAINT COLOR SPECIFIED
9. TUBE STEEL AND WIRE MESH (WIRECRAFTERS SPECIAL MESH 2" x 2" x 8 GA) RAILING/GUARDRAIL - PAINTED
10. STEEL COLUMN - PAINTED
11. CANTILEVERED STEEL FRAME CANOPY WITH PERFORATED MESH PANELS - PAINTED
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13. VERTICAL STANDING SEAM WALL PANEL SYSTEM
14. HORIZONTAL METAL WALL PANEL SYSTEM
15. WOOD GRAIN ALUMINUM WALL SIDING PANEL SYSTEM
16. FIBER CEMENT WALL PANEL SYSTEM
17. T&G WOOD PANEL SIDING
18. ALUMINUM STOREFRONT - FACTORY FINISH
19. ALUMINUM STOREFRONT / DOORS - FACTORY FINISH - SEE SCHEDULE
20. HOLLOW METAL DOOR AND FRAME - PAINTED - SEE SCHEDULE
21. SLIDING ALUMINUM/GLASS PATIO DOORS - FACTORY FINISH - SEE SCHEDULE
22. FIXED/SINGLE SLIDING ALUMINUM WINDOW - FACTORY FINISH - SEE SCHEDULE
23. STANDING SEAM METAL ROOF
24. 2X8 ALUM. TUBE TRELLIS - POWDERCOATED
25. STEEL COLUMN / CUSTOM LIGHT FIXTURE
26. WALL MOUNTED LIGHT FIXTURE - SEE ELECTRICAL/PHOTOMETRICS
27. STEEL POST AND GLASS GUARDRAIL
28. SECTIONAL OR COILING GARAGE DOOR - FACTORY FINISH - SEE SCHEDULE
29. EXHAUST FAN LOUVER/SCREEN - PAINTED
30. BUILDING/TENANT SIGNAGE - UNDER SPEARATE PERMIT AND SUBMITTAL
31. TUBE STEEL GUARDRAIL WITH LAMINATED GLASS PANELS - COLORED FILM BETWEEN GLASS TO MATCH PAINT COLOR SPECIFIED
32. CANTILEVERED PT CONCRETE SLAB BALCONY OR OVERHANG - PAINTED
33. EDGE OF PT CONCRETE SLAB - PAINTED

COLORS

PAINT: (DUNN EDWARDS DE' / BENJAMIN MOORE 'BM' / PITTSBURGH PAINTS 'PPG')

A1.	MAIN FIELD - BLDG. I	(OFF WHITE)	PPG	15-06	WHITE CHIP		- LRV 71
A2.	MAIN FIELD - BLDG. II	(LIGHT GRAY)	BM	OC-14	NATURAL CREAM		- LRV 65
A3.	ACCENT - BLDG. I&II	(DARK GRAY)	DE	6384	IRON FIXTURE		- LRV 10
A4.	ACCENT - BLDG. I	(YELLOW)	PPG	1209-6	BRASS MESH		- LRV 41
A5.	ACCENT - BLDG. II	(BLUE)	DE	5768	MYSTERIOUS BLUE		- LRV 16

ALUMINUM WINDOWS, SUIDING GLASS DOORS AND STOREFRONT: (MILGARD / ARCADIA)

B1.	MILGARD		'CLEAR'	ANODIZED
B2.	ARCADIA	AB-6	'DARK BRONZE'	ANODIZED

MASONRY: (SUPERLITE BLOCK / TRENWITH INDUSTRIES)

C1.	BLDG. I	8X8X16	TRENDSTONE GROUNDFACE - PEARL
C2.	BLDG. II	8X8X16	TRENDSTONE GROUNDFACE - RUTHERFORD
C3.	BLDG. I&II	8X8X16	MESASTONE TEXTURED - BLACK MOUNTAIN

METAL PANEL SIDING:

D1.	WOOD GRAIN SIDING	LONGBOARD - LIGHT NATIONAL WALNUT 1806/02-716
D2.	FLAT/STANDING SEAM	STEELSCAPE - VINTAGE
D3.	HORIZONTAL	ENGLERT (H-16-4) - PREWEATHERED GALVALUME
D4.	STANDING SEAM	ENGLERT - DARK BRONZE

FIBER CEMENT PANEL (CEMBRIT)

E1.	CEMBONIT	GRAPHITE	922

WOOD SIDING 1x6 T&G RANDOM LENGTHS FROM 8'-20'

G1.	NOVAWOOD	IROKO/CLEAR	
G2.	mSAWN TIMBER CO.	CHARRED COLLECTION	CYPRESS-KUJAKU
G3.	mSAWN TIMBER CO.	CHARRED COLLECTION	CYPRESS-HOWAITO

GENERAL NOTES

1. EFIS SYSTEM TO BE 'SENERGY SENERFLEX CHANNELED ADHESIVE DESIGN OVER 1" OR 2" INSULATION BOARD, WITH FINE' TEXTURE INTEGRAL COLORED FINISH TO MATCH PAINT COLOR SPECIFIED. SYSTEM TO BE INSTALLED OVER WATER RESISTIVE BARRIER COATING, PER THE FOLLOWING EVALUATION REPORTS:
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2. ALL CONTROL JOINTS & REVEALS TO TERMINATE ON INSIDE CORNERS ONLY. VERIFY LOCATION WITH ARCHITECT.
3. PROVIDE SEALANT AT ALL EFIS PENETRATIONS.
4. PAINT ALL EXTERIOR MOUNTED ELECTRICAL AND MECHANICAL PANELS/BOXES TO MATCH ADJACENT SURFACE OF THE BUILDING.
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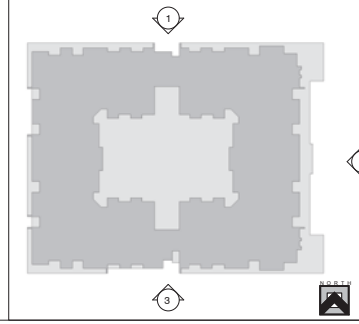
9. RESIDENTIAL WINDOWS TO HAVE DUAL INSULATED GLAZING WITH SUNCOAT LOW-E
   MIN U-FACTOR: 0.51 (SLIDING DOORS), .49 (OPERABLE WINDOWS), .40 FIXED WINDOWS
   MIN. SHGC: .25
10. STOREFRONT GLAZING TO BE 1" DUAL INSULATED CLEAR GLAZING
    MIN. U-FACTOR: 0.47 MIN. SHGC: 0.38

KEYPLAN



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Revisions		
#	Description	Date

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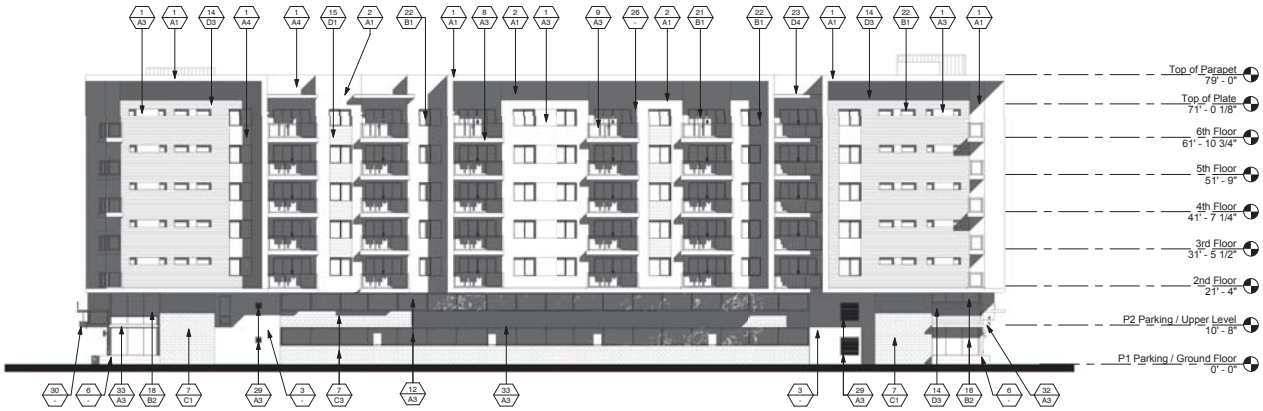
JOB NUMBER:
DRAWN BY: AD
CHECKED BY: KS
ISSUE DATE: 06/22/2016

REGISTERED ARCHITECT 32407 KRISTJAN SIGURDSSON ARIZONA U.S.A.

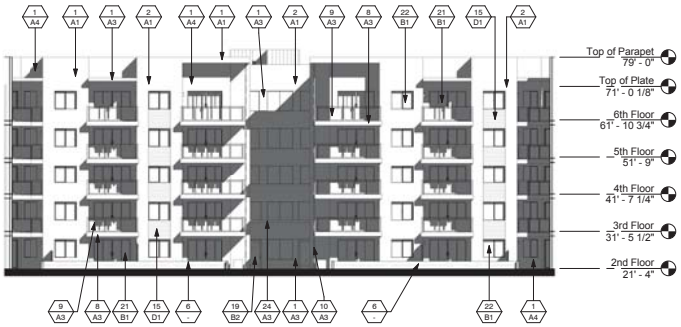
SHEET TITLE:
Bldg I -
Building Elevations

SHEET NUMBER:
A2.10

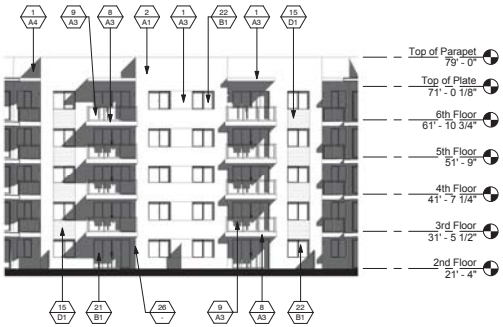
PAD / DPR #3



1 **Bldg I - West Elevation**
1/16" = 1'-0"



2 **Bldg I - South Courtyard Elevation**
1/16" = 1'-0"



3 **Bldg I - West Courtyard Elevation**
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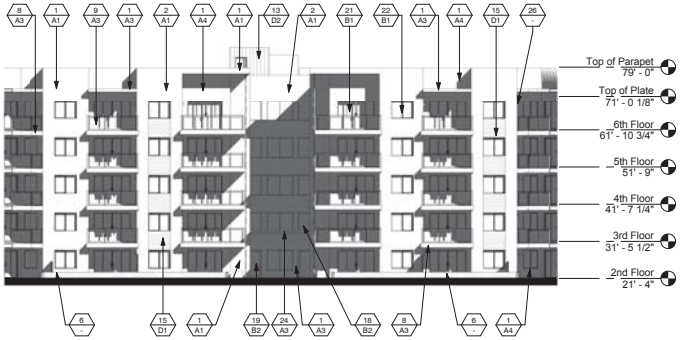
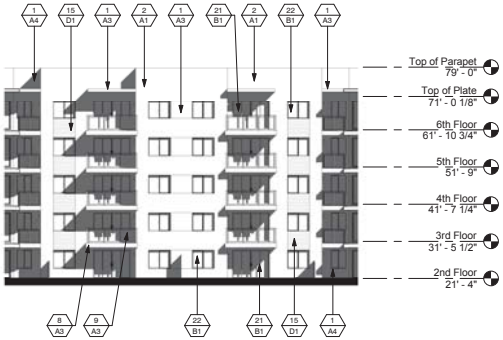


4 **Bldg I - North Courtyard Elevation**
1/16" = 1'-0"



5 **Bldg I - East Courtyard Elevation**
1/16" = 1'-0"

MATERIAL / COLOR SCHEDULE

MATERIAL / KEYNOTE — X
COLOR — X

MATERIALS / KEYNOTES

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FIBER CEMENT PANEL (CEMBRIT)

E1.	CEMBONIT	GRAPHITE	922

WOOD SIDING 1x6 T&G RANDOM LENGTHS FROM 8'-20'

G1.	NOVAWOOD	IROKO/CLEAR	
G2.	reSAWN TIMBER CO.	CHARRED COLLECTION	CYPRESS-KUJAKU
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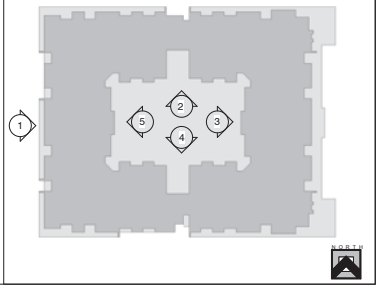
KEYPLAN



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JOB NUMBER:
DRAWN BY: AD
CHECKED BY: KS
ISSUE DATE: 06/22/2016

REGISTERED ARCHITECT 32407 KRISTJAN SIGURDSSON ARIZONA U.S.A.

SHEET TITLE:
Bldg I -
Building Elevations

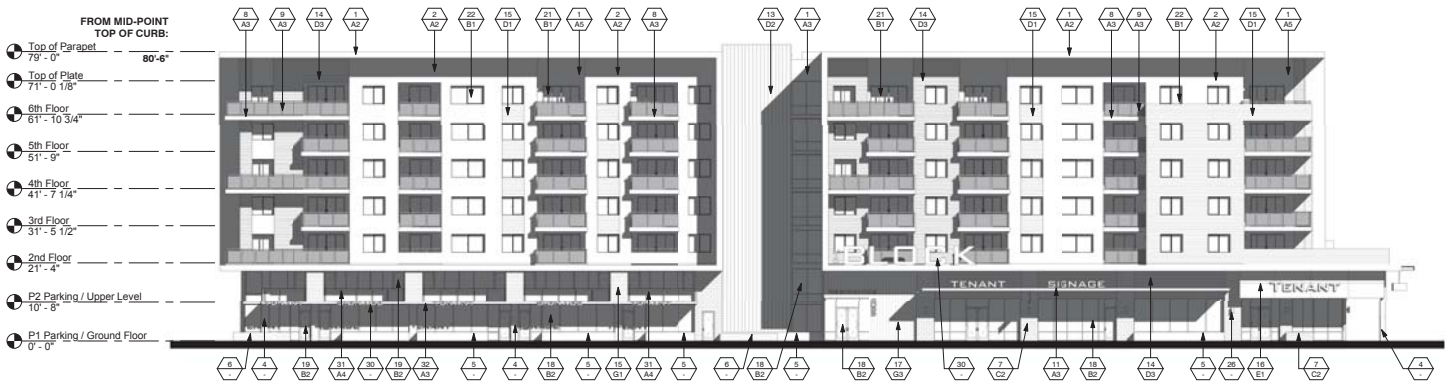
SHEET NUMBER:

A2.11

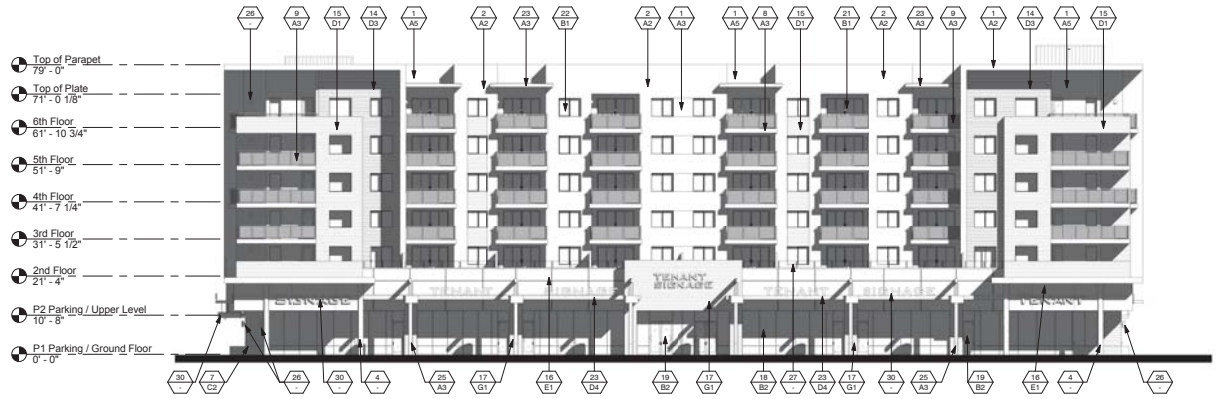
PAD / DPR #3

Z:\Eastline\EASTLINE - Bldg.II - 2017 - ASHTON.rvt

6/15/2016 5:12:28 PM



1 **Bldg I - North Elevation**
1/16" = 1'-0"



2 **Bldg I - West Elevation**
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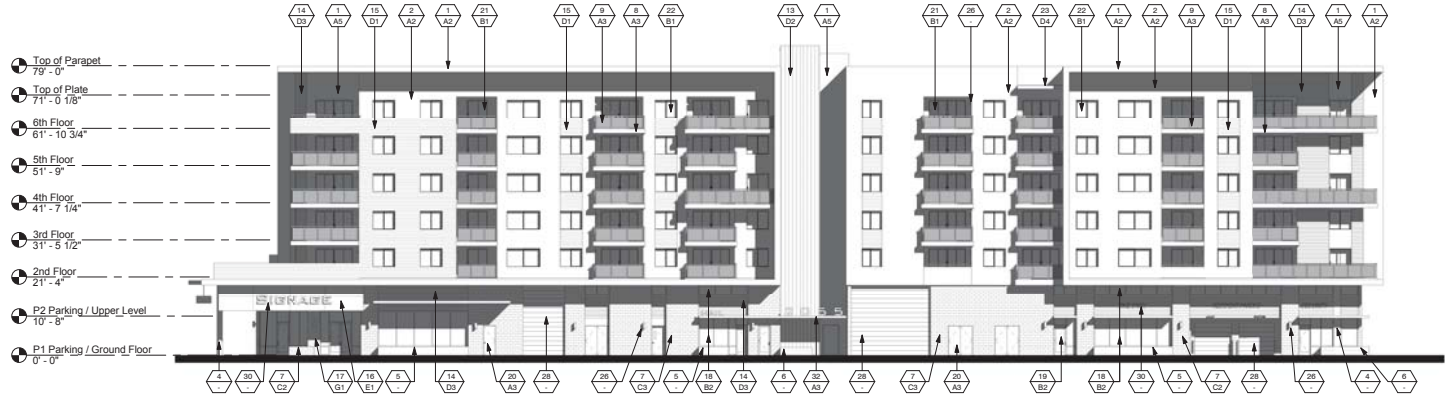

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MATERIAL / COLOR SCHEDULE

MATERIAL / KEYNOTE — X
COLOR — X

MATERIALS / KEYNOTES

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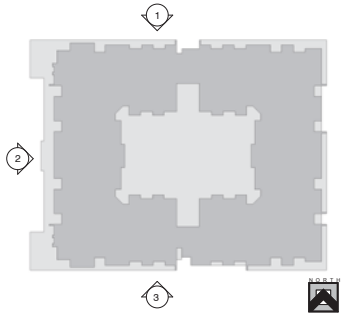
   MIN U-FACTOR: 0.51 (SLIDING DOORS), .49 (OPERABLE WINDOWS), .40 FIXED WINDOWS
   MIN. SHGC: .25
10. STOREFRONT GLAZING TO BE 1" DUAL INSULATED CLEAR GLAZING
    MIN. U-FACTOR: 0.47 MIN. SHGC: 0.38

KEYPLAN



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TEMPE, ARIZONA

Revisions		
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JOB NUMBER:

DRAWN BY: AD

CHECKED BY: KS

ISSUE DATE: 06/22/2016

REGISTERED ARCHITECT 32407 KRISTJAN SIGURDSSON Date Signed 6/22/16

SHEET TITLE:
Bldg II -
Building Elevations

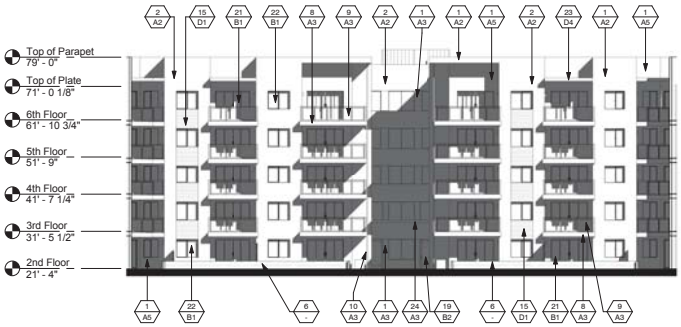
SHEET NUMBER:

A3.10

PAD / DPR #3

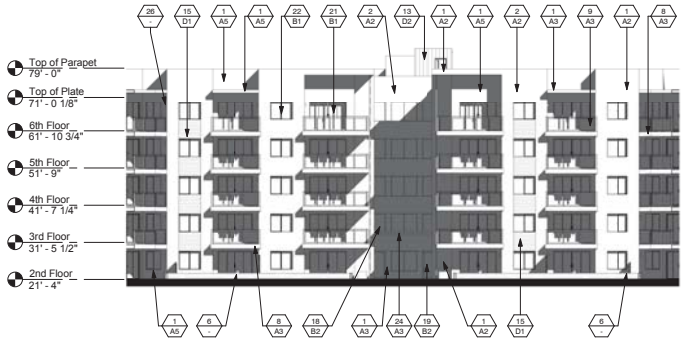
Z:\Eastline\EASTLINE - Bldg.II - 2017 - ASHTON.rvt

1 **Bldg I - East Elevation**
1/16" = 1'-0"

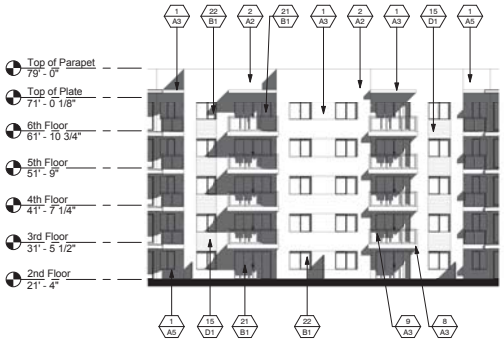


2 **Bldg I - South Courtyard Elevation**
1/16" = 1'-0"

3 **Bldg I - West Courtyard Elevation**
1/16" = 1'-0"



4 **Bldg I - North Courtyard Elevation**
1/16" = 1'-0"



5 **Bldg I - East Courtyard Elevation**
1/16" = 1'-0"

MATERIAL / COLOR SCHEDULE

MATERIAL / KEYNOTE — X
COLOR — X

MATERIALS / KEYNOTES

1. EIFS SYSTEM OVER 1" EPS INSULATION BOARD - INTEGRAL COLOR TO MATCH PAINT COLOR SPECIFIED
2. EIFS SYSTEM OVER 2" EPS INSULATION BOARD - INTEGRAL COLOR TO MATCH PAINT COLOR SPECIFIED
3. CAST IN PLACE CONCRETE WALL - SMOOTH/NATURAL FINISH
4. CAST IN PLACE CONCRETE COLUMN - SMOOTH/NATURAL FINISH
5. CAST IN PLACE CONCRETE PLANTER - SMOOTH/NATURAL FINISH
6. CAST IN PLACE BOARD FORMED CONCRETE PLANTER - NATURAL FINISH
7. EXPOSED MASONRY - RUNNING BOND, RAKED JOINTS
8. BALCONY FACIA - POWDERCOATED T-BAR AND EIFS TO MATCH PAINT COLOR SPECIFIED
9. TUBE STEEL AND WIRE MESH (WIRECRAFTERS SPECIAL MESH 2" x 2" x 8 GA) RAILING/GUARDRAIL - PAINTED
10. STEEL COLUMN - PAINTED
11. CANTILEVERED STEEL FRAME CANOPY WITH PERFORATED MESH PANELS - PAINTED
12. TUBE STEEL FRAME AND WIRE MESH (WIRECRAFTERS SPECIAL MESH 2" x 2" x 8 GA) SECURITY SCREEN - PAINTED
13. VERTICAL STANDING SEAM WALL PANEL SYSTEM
14. HORIZONTAL METAL WALL PANEL SYSTEM
15. WOOD GRAIN ALUMINUM WALL SIDING PANEL SYSTEM
16. FIBER CEMENT WALL PANEL SYSTEM
17. T&G WOOD PANEL SIDING
18. ALUMINUM STOREFRONT - FACTORY FINISH
19. ALUMINUM STOREFRONT / DOORS - FACTORY FINISH - SEE SCHEDULE
20. HOLLOW METAL DOOR AND FRAME - PAINTED - SEE SCHEDULE
21. SLIDING ALUMINUM/GLASS PATIO DOORS - FACTORY FINISH - SEE SCHEDULE
22. FIXED/SINGLE SLIDING ALUMINUM WINDOW - FACTORY FINISH - SEE SCHEDULE
23. STANDING SEAM METAL ROOF
24. 2X8 ALUM. TUBE TRELLIS - POWDERCOATED
25. STEEL COLUMN / CUSTOM LIGHT FIXTURE
26. WALL MOUNTED LIGHT FIXTURE - SEE ELECTRICAL/PHOTOMETRICS
27. STEEL POST AND GLASS GUARDRAIL
28. SECTIONAL OR COILING GARAGE DOOR - FACTORY FINISH - SEE SCHEDULE
29. EXHAUST FAN LOUVER/SCREEN - PAINTED
30. BUILDING/TENANT SIGNAGE - UNDER SPEARATE PERMIT AND SUBMITTAL
31. TUBE STEEL GUARDRAIL WITH LAMINATED GLASS PANELS - COLORED FILM BETWEEN GLASS TO MATCH PAINT COLOR SPECIFIED
32. CANTILEVERED PT CONCRETE SLAB BALCONY OR OVERHANG - PAINTED
33. EDGE OF PT CONCRETE SLAB - PAINTED

COLORS

PAINT: (DUNN EDWARDS DE' / BENJAMIN MOORE 'BM' / PITTSBURGH PAINTS 'PPG')

A1.	MAIN FIELD - BLDG. I	(OFF WHITE)	PPG	15-06	WHITE CHIP	- LRV 71
A2.	MAIN FIELD - BLDG. II	(LIGHT GRAY)	BM	OC-14	NATURAL CREAM	- LRV 65
A3.	ACCENT - BLDG. I&II	(DARK GRAY)	DE	6384	IRON FIXTURE	- LRV 10
A4.	ACCENT - BLDG. I	(YELLOW)	PPG	1209-6	BRASS MESH	- LRV 41
A5.	ACCENT - BLDG. II	(BLUE)	DE	5768	MYSTERIOUS BLUE	- LRV 16

ALUMINUM WINDOWS, SIDING GLASS DOORS AND STOREFRONT: (MILGARD / ARCADIA)

B1.	MILGARD	'CLEAR'	ANODIZED
B2.	ARCADIA AB-6	'DARK BRONZE'	ANODIZED

MASONRY: (SUPERLITE BLOCK / TRENWITH INDUSTRIES)

C1.	BLDG. I	8X8X16	TRENDSTONE GROUNDFACE - PEARL
C2.	BLDG. II	8X8X16	TRENDSTONE GROUNDFACE - RUTHERFORD
C3.	BLDG. I&II	8X8X16	MESASTONE TEXTURED - BLACK MOUNTAIN

METAL PANEL SIDING:

D1.	WOOD GRAIN SIDING	LONGBOARD - LIGHT NATIONAL WALNUT 1806/02-716
D2.	FLAT/STANDING SEAM	STEELSCAPE - VINTAGE
D3.	HORIZONTAL	ENGLERT (H-16-4) - PREWEATHERED GALVALUME
D4.	STANDING SEAM	ENGLERT - DARK BRONZE

FIBER CEMENT PANEL (CEMBRIT)

E1.	CEMBONIT	GRAPHITE 922

WOOD SIDING 1x6 T&G RANDOM LENGTHS FROM 8'-20'

G1.	NOVAWOOD	IROKO/CLEAR	
G2.	reSAWN TIMBER CO.	CHARRED COLLECTION	CYPRESS-KUJAKU
G3.	reSAWN TIMBER CO.	CHARRED COLLECTION	CYPRESS-HOWAITO

GENERAL NOTES

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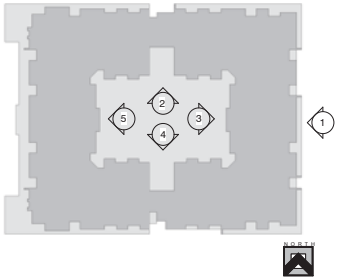
KEYPLAN



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CHECKED BY: KS
ISSUE DATE: 06/22/2016

REGISTERED ARCHITECT 32407 KRISTJAN SIGURDSSON Date Signed 6/22/16

SHEET TITLE:
Bldg II - Building Elevations

SHEET NUMBER:

A3.11

PAD / DPR #3

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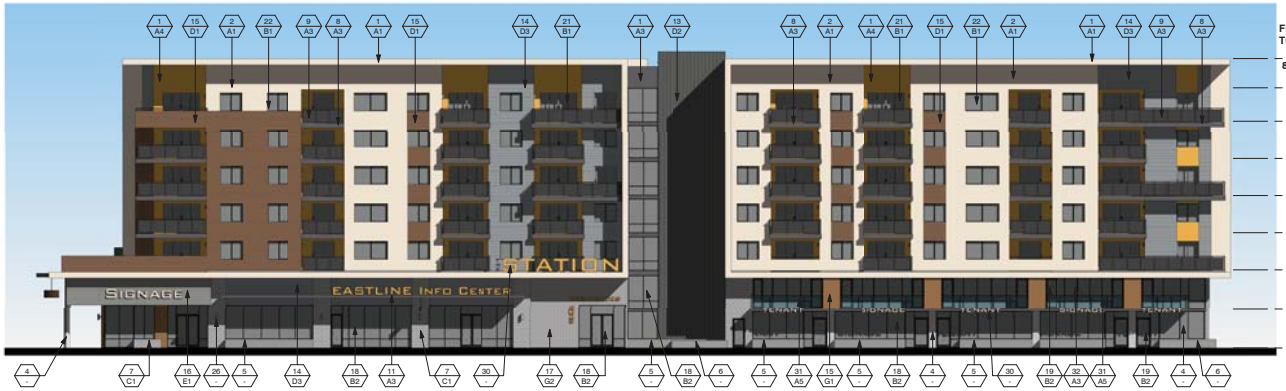

1 Bldg I - North Elevation
1/16" = 1'-0"

2 Bldg I - East Elevation
1/16" = 1'-0"

3 Bldg I - South Elevation
1/16" = 1'-0"

MATERIAL / COLOR SCHEDULE

MATERIAL / KEYNOTE — X
COLOR — X

MATERIALS / KEYNOTES

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COLORS

PAINT: (DUNN EDWARDS 'DE' / BENJAMIN MOORE 'BM' / PITTSBURGH PAINTS 'PPG')

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ALUMINUM WINDOWS, SUIDING GLASS DOORS AND STOREFRONT: (MILGARD / ARCADIA)

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FIBER CEMENT PANEL (CEMBRIT)

E1.	CEMBONIT	GRAPHITE	922

WOOD SIDING 1x6 T&G RANDOM LENGTHS FROM 8'-20'

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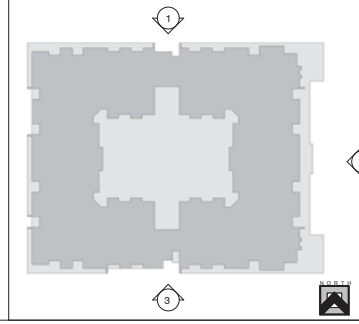

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SHEET TITLE:
Bldg I -
Building Elevations

SHEET NUMBER:

A2.10

PAD / DPR #3

Z:\Eastline\EASTLINE - Bldg.I - 2017 - ASHTON.rvt

① **Bldg I - West Elevation**
1/16" = 1'-0"

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MATERIAL / COLOR SCHEDULE

MATERIAL / KEYNOTE — X
COLOR — X

MATERIALS / KEYNOTES

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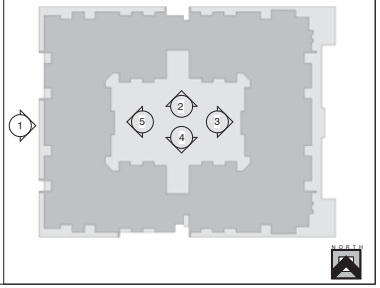
8. ALL EXPOSED DRYER AND EXHAUST VENTS TO BE ALIGNED HORIZONTALLY (AT EACH FLOOR), AND VERTICALLY (FROM FLOOR TO FLOOR) AND PAINTED TO MATCH ADJACENT EFIS COLOR
9. RESIDENTIAL WINDOWS TO HAVE DUAL INSULATED GLAZING WITH SUNCOAT LOW-E
   MIN U-FACTOR: 0.51 (SLIDING DOORS), .49 (OPERABLE WINDOWS), .40 FIXED WINDOWS
   MIN. SHGC: .25
10. STOREFRONT GLAZING TO BE 1" DUAL INSULATED CLEAR GLAZING
    MIN. U-FACTOR: 0.47 MIN. SHGC: 0.38

KEYPLAN



K & I HOMES, LLC
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Revisions		
#	Description	Date

OWNERSHIP OF DOCUMENTS

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JOB NUMBER:

DRAWN BY: AD

CHECKED BY: KS

ISSUE DATE: 06/22/2016

32407 KRISTJAN SIGURDSSON

SHEET TITLE:
Bldg I -
Building Elevations

SHEET NUMBER:

A2.11

PAD / DPR #3

6/15/2016 4:44:42 PM

Z:\Eastline\EASTLINE - Bldg.II - 2017 - ASHTON.rvt

6/15/2016 5:17:47 PM

1 Bldg I - North Elevation
1/16" = 1'-0"

2 Bldg I - West Elevation
1/16" = 1'-0"

3 Bldg I - South Elevation
1/16" = 1'-0"

MATERIAL / COLOR SCHEDULE

MATERIAL / KEYNOTE — X
COLOR — X

MATERIALS / KEYNOTES

1. EIFS SYSTEM OVER 1" EPS INSULATION BOARD - INTEGRAL COLOR TO MATCH PAINT COLOR SPECIFIED
2. EIFS SYSTEM OVER 2" EPS INSULATION BOARD - INTEGRAL COLOR TO MATCH PAINT COLOR SPECIFIED
3. CAST IN PLACE CONCRETE WALL - SMOOTH/NATURAL FINISH
4. CAST IN PLACE CONCRETE COLUMN - SMOOTH/NATURAL FINISH
5. CAST IN PLACE CONCRETE PLANTER - SMOOTH/NATURAL FINISH
6. CAST IN PLACE BOARD FORMED CONCRETE PLANTER - NATURAL FINISH
7. EXPOSED MASONRY - RUNNING BOND, RAKED JOINTS
8. BALCONY FACIA - POWDERCOATED T-BAR AND EIFS TO MATCH PAINT COLOR SPECIFIED
9. TUBE STEEL AND WIRE MESH (WIRECRAFTERS SPECIAL MESH 2" x 2" x 8 GA) RAILING/GUARDRAIL - PAINTED
10. STEEL COLUMN - PAINTED
11. CANTILEVERED STEEL FRAME CANOPY WITH PERFORATED MESH PANELS - PAINTED
12. TUBE STEEL FRAME AND WIRE MESH (WIRECRAFTERS SPECIAL MESH 2" x 2" x 8 GA) SECURITY SCREEN - PAINTED
13. VERTICAL STANDING SEAM WALL PANEL SYSTEM
14. HORIZONTAL METAL WALL PANEL SYSTEM
15. WOOD GRAIN ALUMINUM WALL SIDING PANEL SYSTEM
16. FIBER CEMENT WALL PANEL SYSTEM
17. T&G WOOD PANEL SIDING
18. ALUMINUM STOREFRONT - FACTORY FINISH
19. ALUMINUM STOREFRONT / DOORS - FACTORY FINISH - SEE SCHEDULE
20. HOLLOW METAL DOOR AND FRAME - PAINTED - SEE SCHEDULE
21. SLIDING ALUMINUM/GLASS PATIO DOORS - FACTORY FINISH - SEE SCHEDULE
22. FIXED/SINGLE SLIDING ALUMINUM WINDOW - FACTORY FINISH - SEE SCHEDULE
23. STANDING SEAM METAL ROOF
24. 2X8 ALUM. TUBE TRELLIS - POWDERCOATED
25. STEEL COLUMN / CUSTOM LIGHT FIXTURE
26. WALL MOUNTED LIGHT FIXTURE - SEE ELECTRICAL/PHOTOMETRICS
27. STEEL POST AND GLASS GUARDRAIL
28. SECTIONAL OR COILING GARAGE DOOR - FACTORY FINISH - SEE SCHEDULE
29. EXHAUST FAN LOUVER/SCREEN - PAINTED
30. BUILDING/TENANT SIGNAGE - UNDER SPEARATE PERMIT AND SUBMITTAL
31. TUBE STEEL GUARDRAIL WITH LAMINATED GLASS PANELS - COLORED FILM BETWEEN GLASS TO MATCH PAINT COLOR SPECIFIED
32. CANTILEVERED PT CONCRETE SLAB BALCONY OR OVERHANG - PAINTED
33. EDGE OF PT CONCRETE SLAB - PAINTED

COLORS

PAINT: (DUNN EDWARDS DE' / BENJAMIN MOORE 'BM' / PITTSBURGH PAINTS 'PPG')

A1.	MAIN FIELD - BLDG. I	(OFF WHITE)	PPG	15-06	WHITE CHIP		- LRV 71
A2.	MAIN FIELD - BLDG. II	(LIGHT GRAY)	BM	OC-14	NATURAL CREAM		- LRV 65
A3.	ACCENT - BLDG. I&II	(DARK GRAY)	DE	6384	IRON FIXTURE		- LRV 10
A4.	ACCENT - BLDG. I	(YELLOW)	PPG	1209-6	BRASS MESH		- LRV 41
A5.	ACCENT - BLDG. II	(BLUE)	DE	5768	MYSTERIOUS BLUE		- LRV 16

ALUMINUM WINDOWS, SIDING GLASS DOORS AND STOREFRONT: (MILGARD / ARCADIA)

B1.	MILGARD		'CLEAR'	ANODIZED
B2.	ARCADIA	AB-6	'DARK BRONZE'	ANODIZED

MASONRY: (SUPERLITE BLOCK / TRENWITH INDUSTRIES)

C1.	BLDG. I	8X8X16	TRENDSTONE GROUNDFACE - PEARL
C2.	BLDG. II	8X8X16	TRENDSTONE GROUNDFACE - RUTHERFORD
C3.	BLDG. I&II	8X8X16	MESASTONE TEXTURED - BLACK MOUNTAIN

METAL PANEL SIDING:

D1.	WOOD GRAIN SIDING	LONGBOARD - LIGHT NATIONAL WALNUT	1806/02-716
D2.	FLAT/STANDING SEAM	STEELSCAPE - VINTAGE	
D3.	HORIZONTAL	ENGLERT (H-16-4) - PREWEATHERED GALVALUME	
D4.	STANDING SEAM	ENGLERT - DARK BRONZE	

FIBER CEMENT PANEL (CEMBRIT)

E1.	CEMBONIT	GRAPHITE	922

WOOD SIDING 1x6 T&G RANDOM LENGTHS FROM 8'-20'

G1.	NOVAWOOD	IROKO/CLEAR	
G2.	mSAWN TIMBER CO.	CHARRED COLLECTION	CYPRESS-KUJAKU
G3.	mSAWN TIMBER CO.	CHARRED COLLECTION	CYPRESS-HOWAITO

GENERAL NOTES

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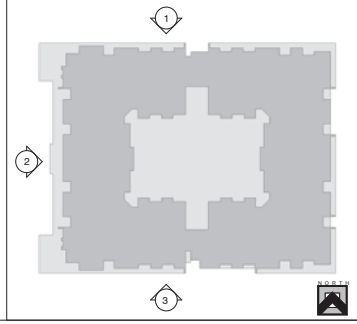

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REGISTERED ARCHITECT 32407 KRISTJAN SIGURDSSON ARIZONA U.S.A.

SHEET TITLE:
Bldg II -
Building Elevations

SHEET NUMBER:

A3.10

PAD / DPR #3

Z:\Eastline\EASTLINE - Bldg.II - 2017 - ASHTON.rvt

① **Bldg I - East Elevation**
1/16" = 1'-0"

② **Bldg I - South Courtyard Elevation**
1/16" = 1'-0"

③ **Bldg I - West Courtyard Elevation**
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④ **Bldg I - North Courtyard Elevation**
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⑤ **Bldg I - East Courtyard Elevation**
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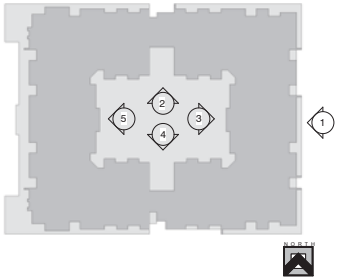

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REGISTERED ARCHITECT 32407 KRISTJAN SIGURDSSON ARIZONA U.S.A.

SHEET TITLE:
Bldg II - Building Elevations

SHEET NUMBER:

A3.11

PAD / DPR #3

6/15/2016 5:40:40 PM

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ISSUE DATE: 06/22/2016

REGISTERED ARCHITECT 32407 KRISTJAN SIGURDSSON ARIZONA U.S.A.

SHEET TITLE:
Color Board

SHEET NUMBER:

CB-1

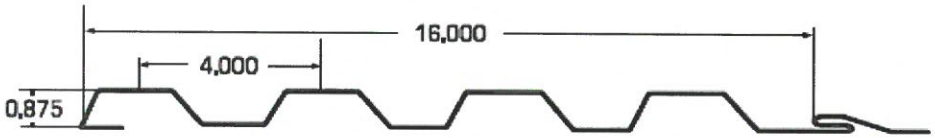
PAD / DPR #3

6/21/2016 11:29:51 AM

Englert "H" Series

The Englert H-12 and H-16 are multi-purpose metal wall panels designed for horizontal and vertical applications. The Englert H-12 is a 12" coverage panel, and the H-16 Panel provides 16" of coverage. Both panels are 7/8" deep, with ribs uniformly spaced at 4" on center with a fastening leg, and lock, that is concealed. Panels are coated with an ULTRA-Cool™, Kynar 500® paint finish.

For a system specific to your needs and design please contact an Englert representative.



H-16-4

Color Chart

Wire Drawings

H-16-4
ENGLERT "H" SERIES

Profile at a Glance

✔ Structural	✔ ASTM-E283
✔ Architectural detail capability	✔ ASTM-E330
Tight radius curving capacity	✔ ASTM-E331
✔ Florida Building Code Compliance	✔ ASTM-E84
Flush Seam	Exposed Fastener
Horizontal or Vertical application	✔ Concealed Fastener

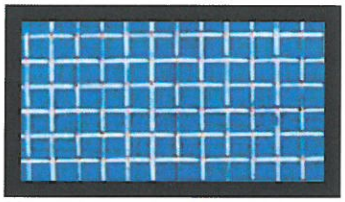
Alternate Materials

Choose from Special Meshes, Sheet Metal and Lexan

Other materials can be used when our standard 2" x 1" opening mesh does not meet your needs. WireCrafters stocks several different sized meshes, sheet metal, lexan, expanded metal and welded wire for these special applications. Several of the more popular items are pictured below. Our large inventory and modern manufacturing techniques allow us to make fast delivery of custom product, giving you an edge on the competition.

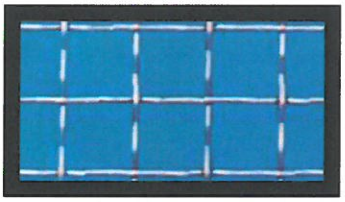
WireCrafters can upgrade the panel frames to larger angle, and increase the tubing size of the posts to meet your exact requirements. We are experienced with these special projects and welcome them.

special mesh

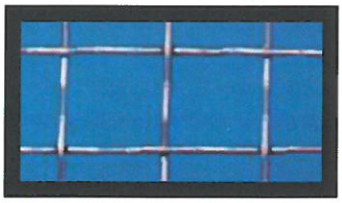


1/2" center-to-center square
12 gauge (3/8" square opening)
Uses: Any application which requires control over small items.

- Machine guards
- Small liquor bottles
- Federal Reserve
- Drug control

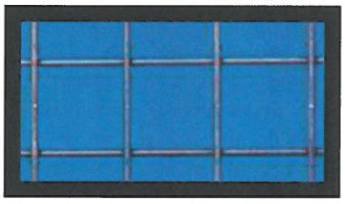


1-5/8" center-to-center square
8 gauge (1-1/2" square opening)
Uses: Galvanized partitions
This heavy mesh eliminates warping which may occur during the hot dip galvanize process.
Also used when our standard 2" x 1" 10 gauge is not strong enough.

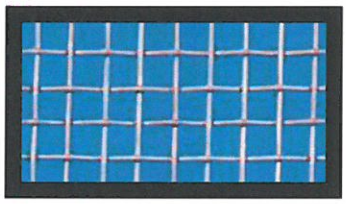


2-1/4" center-to-center square
6 gauge (2" square opening)
Uses: Heavy duty construction

- Government facility import areas
- Police holding cells
- Prison lockup areas



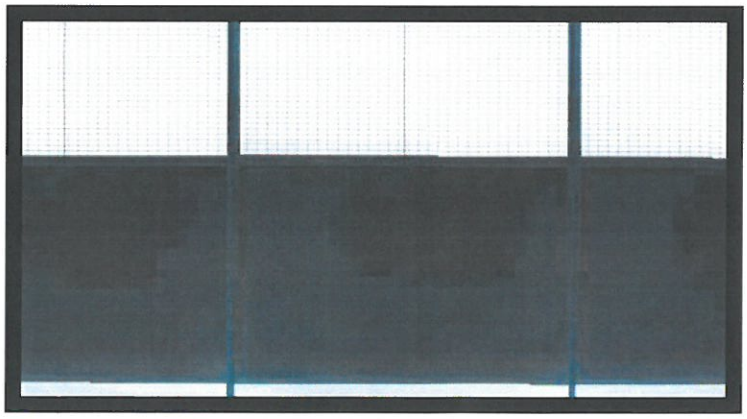
2" center-to-center square
8 gauge welded wire mesh
(1-7/8" square opening)



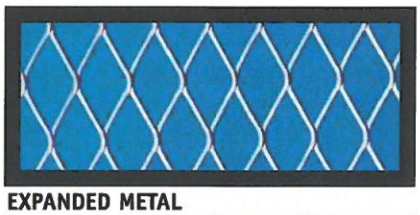
3/4" center-to-center square
10 gauge (5/8" square opening)

1-1/2" diamond mesh
10 gauge

sheet metal, lexan® and expanded metal



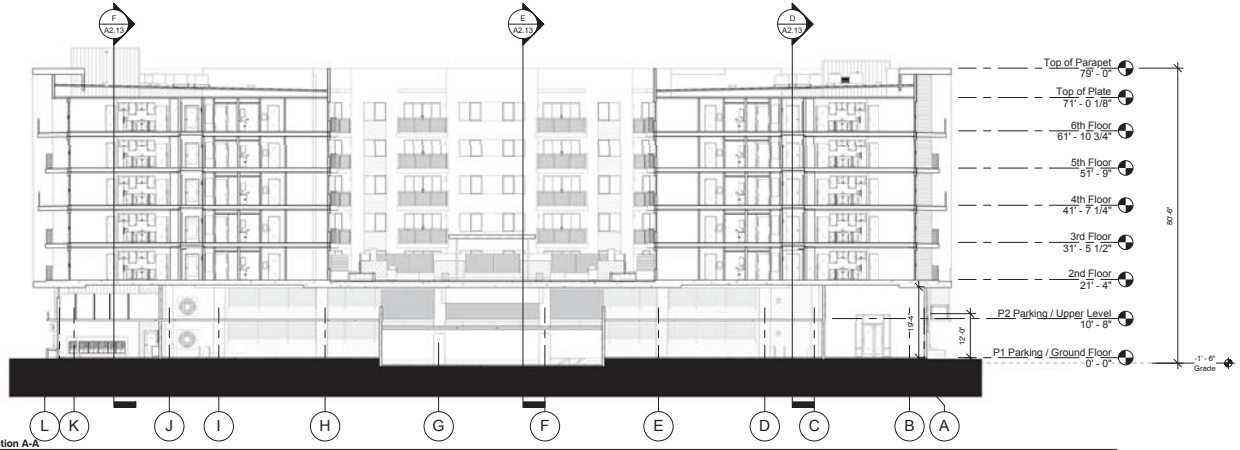
16-GAUGE SHEET METAL



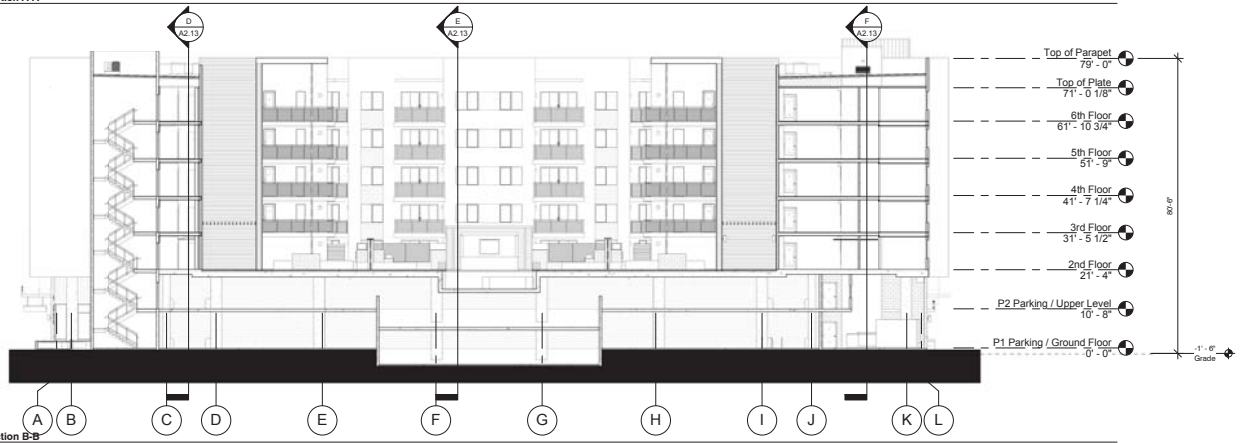
EXPANDED METAL

LEXAN® CLEAR VIEW PANELS

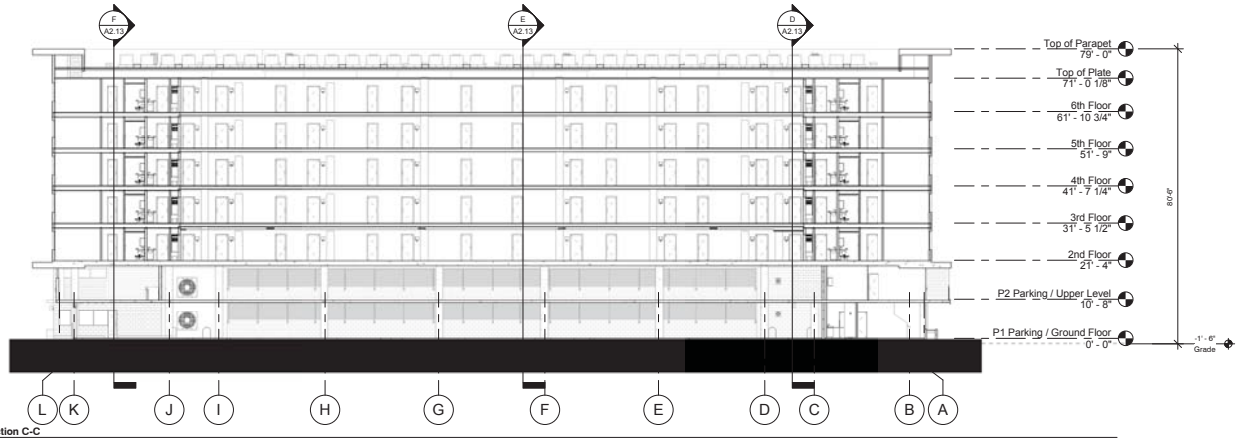
Z:\Eastline\EASTLINE - Bldg.I - 2017 - ASHTON.rvt



Ⓐ Bldg I - Building Section A-A
1/16" = 1'-0"



Ⓑ Bldg I - Building Section B-B
1/16" = 1'-0"



Ⓒ Bldg I - Building Section C-C
1/16" = 1'-0"

GENERAL NOTES

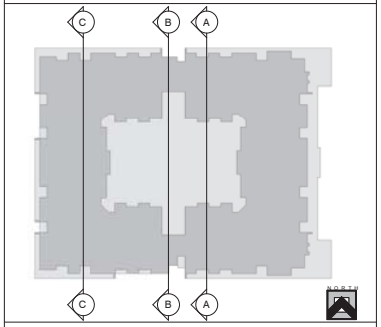
1. R-38 BATT INSULATION AT ROOF / R-19 BATT INSULATION AT EXTERIOR WALLS
2. COLUMN AND WALL FOOTINGS SHOWN FOR REFERENCE (SIZE, DEPTH AND REINFORCING BY STRUCTURAL ENGINEER)
3. SEE STRUCTURAL DRAWINGS FOR FOUNDATION FOOTING SIZES AND LOCATIONS.
4. ALL EXPOSED METALS, ROOF VENTS & STACKS TO BE PAINTED TO MATCH ADJACENT BUILDING SURFACE.
5. ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
6. WALL / PARTITION TYPE INDICATOR, REFER TO DRAWING A9.1 FOR PARTITION TYPES.
   FIRE RATED ASSEMBLIES INDICATOR, REFER TO DRAWING A9.2.1, A9.2.2, & A9.2.3 FOR RATED ASSEMBLIES.
7. ALL ROOF FRAMING SHALL BE COMPLETELY SHEATHED AND NAILED UNDER ALL OVER FRAMING WITH A MINIMUM OPENING FOR ACCESS AND ATTIC VENTILATION.
8. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL RELATED INFORMATION AND DETAILING INCLUDING ALL TRUSS BLOCKING, ETC. NOT INDICATED ON THIS DRAWING.

SECTION KEYNOTES

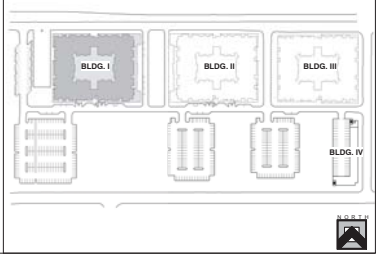
ALL KEYNOTES DO NOT APPEAR ON ALL SHEETS

1. C.I.P. CONCRETE COLUMN - REFER TO STRUCTURAL
2. C.I.P. CONCRETE WALL - REFER TO STRUCTURAL
3. 4" CONCRETE SLAB ON GRADE
4. C.M.U. WALL - REFER TO ELEVATIONS
5. CONCRETE DECK - REFER TO STRUCTURAL
6. POOL AND SPA
7. ELEVATOR, HOISTWAY AND PIT
8.
9. CONCRETE SIDEWALK AND/OR PAVERS - REFER TO SITE PLAN
10. CORRIDOR WALL
11. 1 HR. FLOOR/CEILING ASSEMBLY.
    REFER TO DETAIL(S) __ / A__ (UNITS), __ / A__ (CORRIDORS)
12. ROOF/CEILING ASSEMBLY: REFER TO DETAIL / A .
13. 1" MIN. THICK CLASS B SPRAY-APPLIED RIGID FOAM ROOF SYSTEM WITH CEMENTITIOUS TOP COAT
14. AC CONDENSING UNIT
15. EFIS SYSTEM OVER WOOD FRAMING - SEE ELEVATIONS
16.
17.
18.
19.
20.

BUILDING KEYPLAN



KEYPLAN



K & I HOMES, LLC
4422 N. CIVIC CENTER PLAZA
SUITE 202
SCOTTSDALE, AZ 85251
PH: 480-970-8900

uhdc URBAN HOME DEVELOPMENT CORPORATION

DMB®

VILLAGE EASTLINE LIVE - WORK - PLAY
APACHE BLVD. REDEVELOPMENT
TEMPE, ARIZONA

Revisions		
#	Description	Date

OWNERSHIP OF DOCUMENTS

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO K & I HOMES, LLC.

JOB NUMBER:

DRAWN BY: AD

CHECKED BY: KS

ISSUE DATE: 06/22/2016

REGISTERED ARCHITECT 32407 KRISTJAN SIGURDSSON Arizona U.S.A.

SHEET TITLE:
Bldg I - Overall Building Sections

SHEET NUMBER:

A2.12

PAD / DPR #3

6/16/2016 2:27:22 PM

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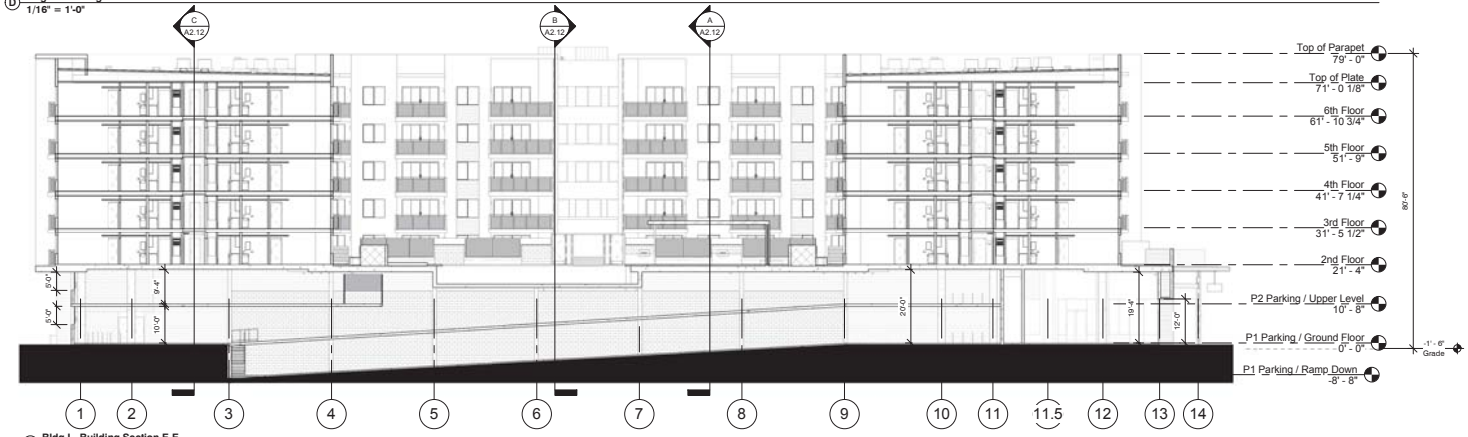
D Bldg I - Building Section D-D
1/16" = 1'-0"



E Bldg I - Building Section E-E
1/16" = 1'-0"

F Bldg I - Building Section F-F
1/16" = 1'-0"

GENERAL NOTES

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SECTION KEYNOTES

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14. AC CONDENSING UNIT
15. EFIS SYSTEM OVER WOOD FRAMING - SEE ELEVATIONS
16.
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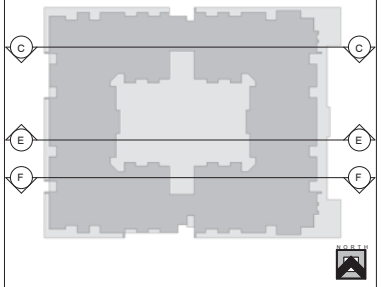
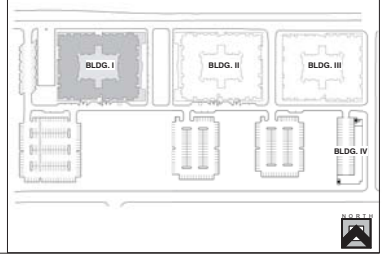
18.
19.
20.

BUILDING KEYPLAN



KEYPLAN



K & I HOMES, LLC
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TEMPE, ARIZONA

Revisions		
#	Description	Date

OWNERSHIP OF DOCUMENTS

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JOB NUMBER:

DRAWN BY: AD

CHECKED BY: KS

ISSUE DATE: 06/22/2016

REGISTERED ARCHITECT 32407 KRISTJAN SIGURDSSON ARIZONA U.S.A.

SHEET TITLE:
Bldg I - Overall Building Sections

SHEET NUMBER:

A2.13

PAD / DPR #3

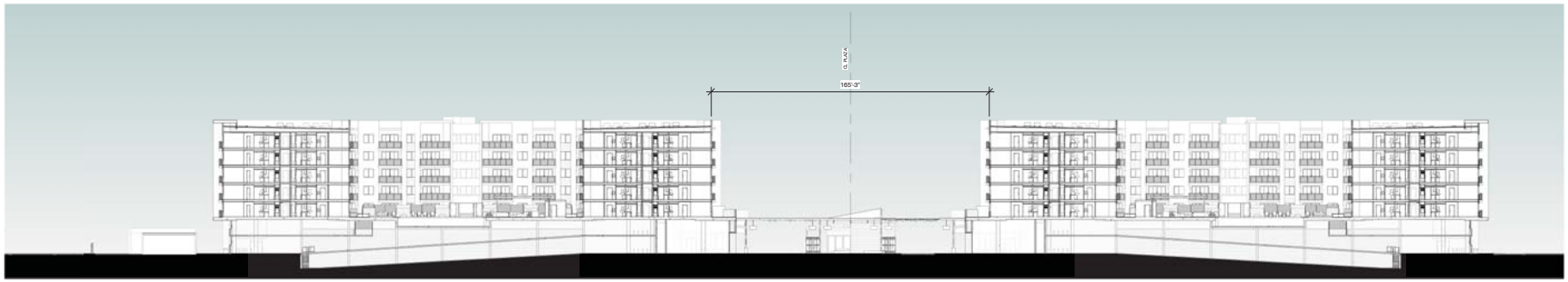
6/16/2016 2:40:59 PM

Z:\Eastline\PUD DPR - 3rd Submittal - Revit Models\EASTLINE - Overall Site - 2017 - PUD DPR 3rd Sub - ASHTON.rvt

3 SITE PLAN - PHASE I - BLDG I & BLDG II - DECK PARK LEVEL (2nd FLOOR)
1" = 30'-0"

SCALE: 0' - 1" = 30' - 0"
0' 15' - 0" 30' - 0" 60' - 0"

NORTH



2 Site Section - Bldg I & II - EastWest
1" = 30'-0"

6/21/2016 2:18:35 PM

K & I HOMES, LLC
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JOB NUMBER:
DRAWN BY: AD
CHECKED BY: KS
ISSUE DATE: 06/22/2016

32407
KRISTJAN SIGURDSSON
REGISTERED ARCHITECT
Arizona U.S.A.

SHEET TITLE:
Enlarged Site Plan - Phase I-Deck Park Lvl

SHEET NUMBER:
A1.4.2

PAD / DPR #3

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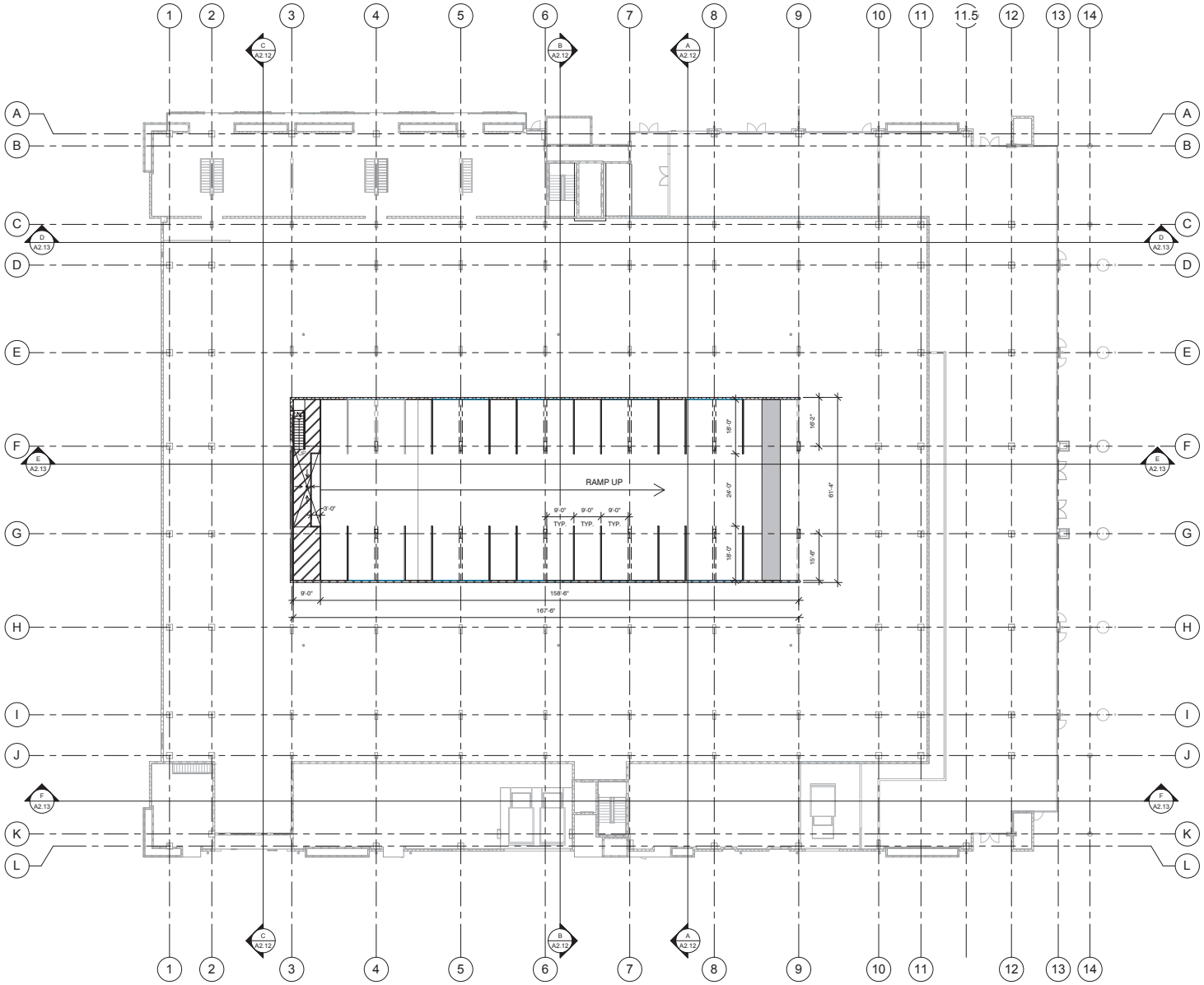


1 P1 Parking / Ramp Down - Floor Plan - (Bldg II Similar / Mirrored)
1/16" = 1'-0"

SCALE: 0' - 1" = 16' - 0"
0' 8' - 0" 16' - 0" 32' - 0"

NORTH

GENERAL NOTES

1. REFER TO GENERAL NOTES ON SHEET A0.1
2. UNLESS NOTED OTHERWISE, ALL FLOOR PLAN DIMENSIONS ARE MEASURED FROM:
   - A. FACE OF MASONRY OR CONCRETE: ALL MASONRY DIMENSIONS ARE NOMINAL
   - B. FACE OF PLYWOOD SHEATHING AT FRAME CONDITIONS
   - C. INTERIOR PARTITIONS: FACE OF STUD
   - D. CENTERLINE OF COLUMNS
3. ANGLES ARE 45 DEGREES AND 90 DEGREES - U.N.O.
4. ALL ELEVATIONS ARE FROM DATUM ELEVATION 0'-0" FFE AT GROUND FLOOR
5. GYPSUM WALL BOARD (GWB) AND FINISHES:
   - A. SEE GENERAL FINISH NOTES AND INTERIOR ELEVATIONS FOR EXTENT OF GWB.
   - B. PROVIDE CASING BEADS AT GWB EDGES WHEREVER GWB ABUTS A DIFFERENT MATERIAL. PROVIDE SQUARED CORNER BEADS AT ALL GWB CORNERS.
   - C. USE WATER RESISTANT GWB ON WALLS OF ALL RESTROOMS, THE KITCHEN BACK WALL, LAUNDRY ROOMS, AND MECHANICAL/WATER HEATER CLOSETS.
   - D. PROVIDE CEMENTITIOUS BACKER BOARD FOR TILE AT ALL TUB AND SHOWER SURROUNDS
   - E. FOR ALL WALL TYPES, PROVIDE INTERIOR FINISHES AS PER GENRAL FINISH NOTES AND INTERIOR ELEVATIONS.
6. REFER TO SHEETS A9.2.1 , A9.2.X FOR FIRE RATING, FIRE STOPPING, FIRE BLOCKING, PENETRATIONS AND SOUND CONTROL.
7. PROVIDE PORTABLE FIRE EXTINGUISHERS THROUGHOUT IN ACCORDANCE WITH IBC SEC. 906 AND NFPA 10
   - SEMI-RECESSED CABINETS AT FINISHED AREAS
   - SURFACE MOUNTED CABINETS AT EXPOSED CMU WALLS

FLOOR PLAN KEYNOTES

1.
2.
3. C.M.U. WALL - REFER TO SECTIONS
4. C.I.P. CONCRETE COLUMN - REFER TO STRUCTURAL.
5. C.I.P. CONCRETE WALL - REFER TO STRUCTURAL.
6. 4" CONCRETE SLAB O/ ABC ON GRADE OR COMPACTED FILL.
7. PRECASAT CONCRETE PARKING CURB - WHERE SHOWN, AND AS REQ'D TO PROTECT ANY EXPOSED PIPING AND CONDUITS ALONG PERIMETER WALL.
8. 1 HR RATED PAINTED STEEL COLUMN - REFER TO DETAIL X / A9.X
9. BIKE RACK - REFER TO COT DETAIL X / X
10. TRASH CHUTE FROM TOP FLOOR TO GROUND FLOOR. REFER TO SHEET AX
11. PAINTED ACCESSIBLE PARKING SYMBOL AND SIGN ON WALL.
12.
13.
14. LANDSCAPE PLANTER
15. 4" PAINTED PARKING STRIPE
16. ELECTRICAL SERVICES & METERS - REFER TO ELECTRICAL.
17. C.I.P. CONCRETE STAIR.
18. FLOOR DRAIN - REFER TO PLUMBING.
19. SLOPE SLAB TO DRAIN.
20. ALUM. STOREFRONT - REFER TO ELEVATIONS AND SHEET A8.2.X
21. CANOPY ROOF ABOVE.
22. ACCESSIBLE RAMP
23. LINE OF DECK, BALCONY OR BUILDING ABOVE.
24. ROOF OVERHANG ABOVE.
25.
26. OA DUCT IN 1 HR RATED SHAFT - SEE TYP. ENLARGED PLAN X/A9.X
27. DATA CLOSET - SEE ELECTRICAL.
28. 18" H - 12" C.M.U. PLANTER WALL - TILE FRONT & TOP.
29. 48" H - 8" C.M.U. PLANTER WALL - STUCCO
30. 24" H - 6" C.M.U. PLANTER WALL - STUCCO
31. 60" H - 8" C.M.U. (TRENDSTONE) PLANTER WALL W/ 4" SOLID CAP
32. LINE OF SHADE STRUCTURE / CANOPY ABOVE.
33. 60" HIGH CUSTOM 'GREENSCREEN' POOL FENCE.
34. 60"H STEEL POOL FENCE AND GATE W/ SELF CLOSER & LATCH
35. C.M.U. PLANTER - REFER TO DECK PARK PLANS.
36. C.M.U. PLANTER AND GUARDRAIL - REFER TO ELEVATIONS AND DECK PARK DETAILS
37. SERVICE SINK.
38. 1 HR STEEL COLUMN - GC OPTION TO MONOKOTE OR DRYWALL WRAP PER DETAIL X/A9.2.X
    FURR-OUT OR UPSIZE SURROUNDING STUDS AS REQ'D TO CONCEAL COLUMN.
39. OPEN TO BELOW.
40. STEEL GUARDRAIL.
41. PRECAST CONCRETE PAVERS.
42. FRP PLANTER (TOURNESOL)
43.
44. FIREPIT
45. DECK DRAIN
46. LINE OF CONCRETE COLUMN BELOW.
47. SLOPE CONCRETE DECK TO DRAIN AT 1/4" / FOOT MIN.
48.
49. ROOF BELOW
50. ROOF DRAIN AND OVERFLOW IN WALL
51. THRU-WALL SCUPPER
52. TYP. UNIT ENTRY FEATURE, POP-OUT WALL AND SOFFIT
53. FIRE EXTINGUISHER CABINET. REFER TO DETAIL X / A9.X
54. MISTING EQUIPMENT ON SHELF
55. LIGHT BOLLARD - SEE ELECTRICAL

GENERAL INSULATION NOTES

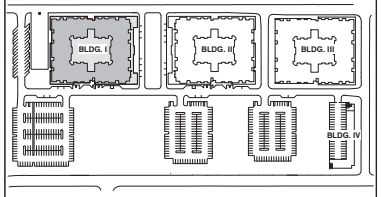
1. PROVIDE INSULATION AT ALL WALLS AND ASSEMBLIES, AS REQURIED TO ACHIVE REQUIRED SOUND AND FIRE RATING, PER DETAILS ON SHEETS A9.2.x
2. IN GENERAL PROVIDE THE FOLLWOING INSULATION TYPES AND VALUES:

R-30	BATTS	ROOF/CEILING ASSEMBLY
R-11	BATTS	FLOOR/CEILING ASSEMBLY BETWEEN UNITS
R-19	BATTS	ALL EXTERIOR WALLS AND APPLICABLE 2X6 INTERIOR WALLS
3.5"	SOUND BATTS	ALL CORRIDOR WALLS, BOTH SIDES OF UNIT DEMISING WALLS AROUND ALL UNIT BATHROOMS AND LAUNDRY ROOMS

GENERAL FINISH NOTES

1. ALL CORRIDORS TO RECEIVE 2X2 COMMERCIAL GRADE CARPET SQUARES - 3 DIFFERENT COLOURS/PATTERNS AS SELECTED BY ARCHITECT - 1X6 PAINTED MDF BASE
2. ALL UTILITY AND STORAGE ROOMS TO RECEIVE VCT TILE AND 4" COVED RUBBER BASE
3. ALL HARDROCK CONCRETE AT UNIT BALCONIES TO BE WATER SEALED
4. PROVIDE PEDESTRIAN DECK COATING FOR 2ND FLOOR OUTSIDE PERIMETER UNIT BALCONIES

KEYPLAN



NORTH

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JOB NUMBER:

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CHECKED BY: KS

ISSUE DATE: 06/22/2016

32407 KRISTJAN SIGURDSSON

SHEET TITLE:
Bldg I - P1 Parking / Ramp Down

SHEET NUMBER:

A2.1.0

PAD / DPR #3

6/15/2016 3:10:29 PM

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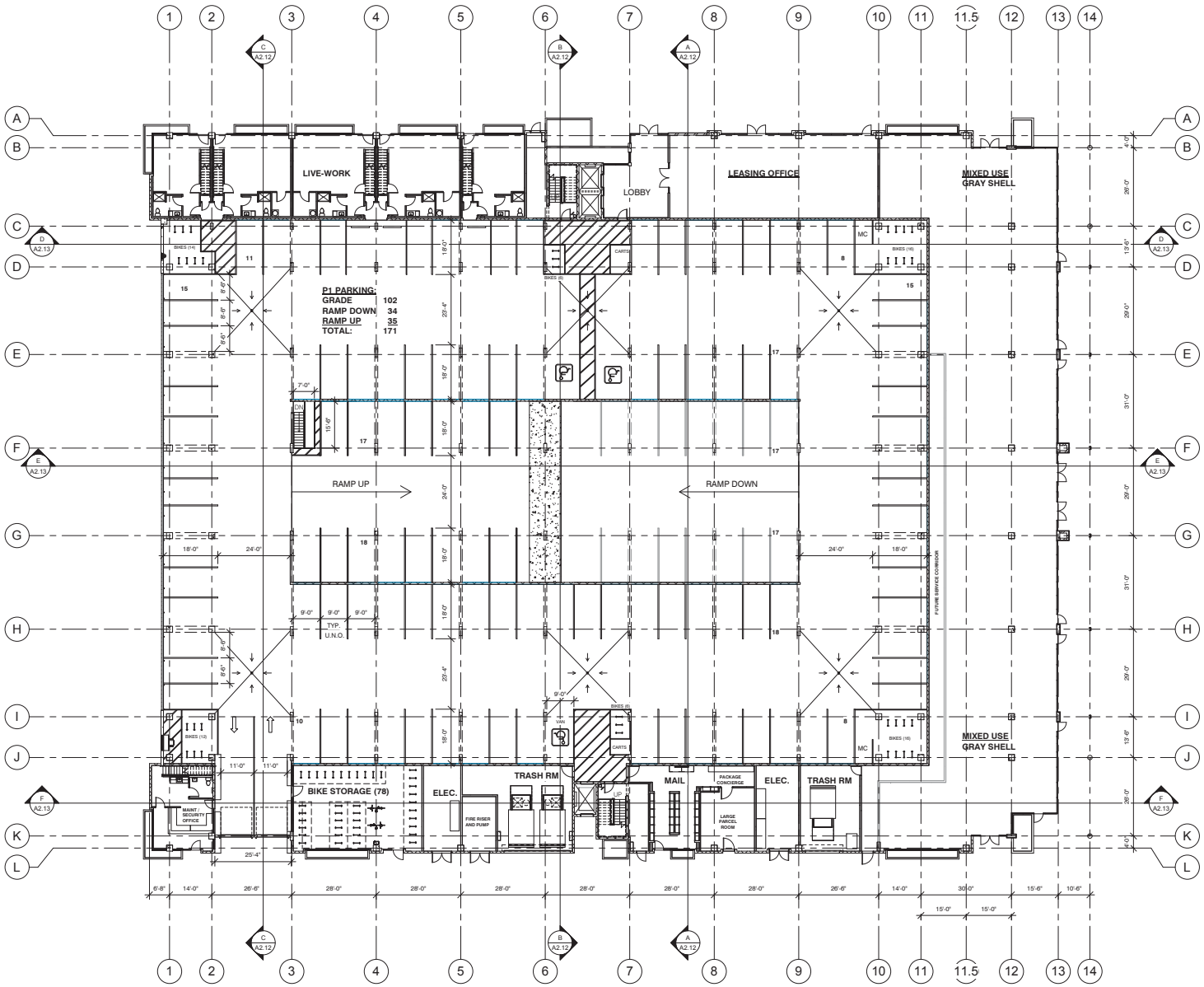

1 P1 Parking / Ground Floor Plan - (Bldg II Similar / Mirrored)
1/16" = 1'-0"

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0' 8' - 0" 16' - 0" 32' - 0"

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   D. CENTERLINE OF COLUMNS
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24. ROOF OVERHANG ABOVE.
25.
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27. DATA CLOSET - SEE ELECTRICAL.
28. 18" H - 12" C.M.U. PLANTER WALL - TILE FRONT & TOP.
29. 48" H - 8" C.M.U. PLANTER WALL - STUCCO
30. 24" H - 6" C.M.U. PLANTER WALL - STUCCO
31. 60" H - 8" C.M.U. (TRENDSTONE) PLANTER WALL W/ 4" SOLID CAP
32. LINE OF SHADE STRUCTURE / CANOPY ABOVE.
33. 60" HIGH CUSTOM 'GREENSCREEN' POOL FENCE.
34. 60"H STEEL POOL FENCE AND GATE W/ SELF CLOSER & LATCH
35. C.M.U. PLANTER - REFER TO DECK PARK PLANS.
36. C.M.U. PLANTER AND GUARDRAIL - REFER TO ELEVATIONS AND DECK PARK DETAILS
37. SERVICE SINK.
38. 1 HR STEEL COLUMN - GC OPTION TO MONOKOTE OR DRYWALL WRAP PER DETAIL X/A9.2.X
    FURR-OUT OR UPSIZE SURROUNDING STUDS AS REQ'D TO CONCEAL COLUMN.
39. OPEN TO BELOW.
40. STEEL GUARDRAIL.
41. PRECAST CONCRETE PAVERS.
42. FRP PLANTER (TOURNESOL)
43.
44. FIREPIT
45. DECK DRAIN
46. LINE OF CONCRETE COLUMN BELOW.
47. SLOPE CONCRETE DECK TO DRAIN AT 1/4" / FOOT MIN.
48.
49. ROOF BELOW
50. ROOF DRAIN AND OVERFLOW IN WALL
51. THRU-WALL SCUPPER
52. TYP. UNIT ENTRY FEATURE, POP-OUT WALL AND SOFFIT
53. FIRE EXTINGUISHER CABINET. REFER TO DETAIL X / A9.X
54. MISTING EQUIPMENT ON SHELF
55. LIGHT BOLLARD - SEE ELECTRICAL

GENERAL INSULATION NOTES

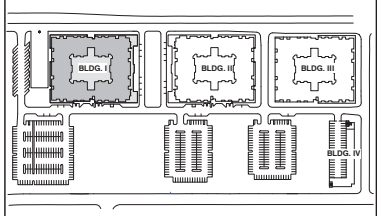
1. PROVIDE INSULATION AT ALL WALLS AND ASSEMBLIES, AS REQURIED TO ACHIVE REQUIRED SOUND AND FIRE RATING, PER DETAILS ON SHEETS A9.2.x
2. IN GENERAL PROVIDE THE FOLLWOING INSULATION TYPES AND VALUES:

R-30	BATTS	ROOF/CEILING ASSEMBLY
R-11	BATTS	FLOOR/CEILING ASSEMBLY BETWEEN UNITS
R-19	BATTS	ALL EXTERIOR WALLS AND APPLICABLE 2X6 INTERIOR WALLS
3.5"	SOUND BATTS	ALL CORRIDOR WALLS, BOTH SIDES OF UNIT DEMISING WALLS AROUND ALL UNIT BATHROOMS AND LAUNDRY ROOMS

GENERAL FINISH NOTES

1. ALL CORRIDORS TO RECEIVE 2X2 COMMERCIAL GRADE CARPET SQUARES - 3 DIFFERENT COLOURS/PATTERNS AS SELECTED BY ARCHITECT - 1X6 PAINTED MDF BASE
2. ALL UTILITY AND STORAGE ROOMS TO RECEIVE VCT TILE AND 4" COVED RUBBER BASE
3. ALL HARDROCK CONCRETE AT UNIT BALCONIES TO BE WATER SEALED
4. PROVIDE PEDESTRIAN DECK COATING FOR 2ND FLOOR OUTSIDE PERIMETER UNIT BALCONIES

KEYPLAN



K & I HOMES, LLC
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TEMPE, ARIZONA

Revisions		
#	Description	Date

OWNERSHIP OF DOCUMENTS

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JOB NUMBER:
DRAWN BY: AD
CHECKED BY: KS
ISSUE DATE: 06/22/2016

REGISTERED ARCHITECT 32407 KRISTJAN SIGURDSSON ARIZONA U.S.A.

SHEET TITLE:
Bldg I - P1 Parking / Ground Level

SHEET NUMBER:

A2.1.1

PAD / DPR #3

6/15/2016 3:24:46 PM

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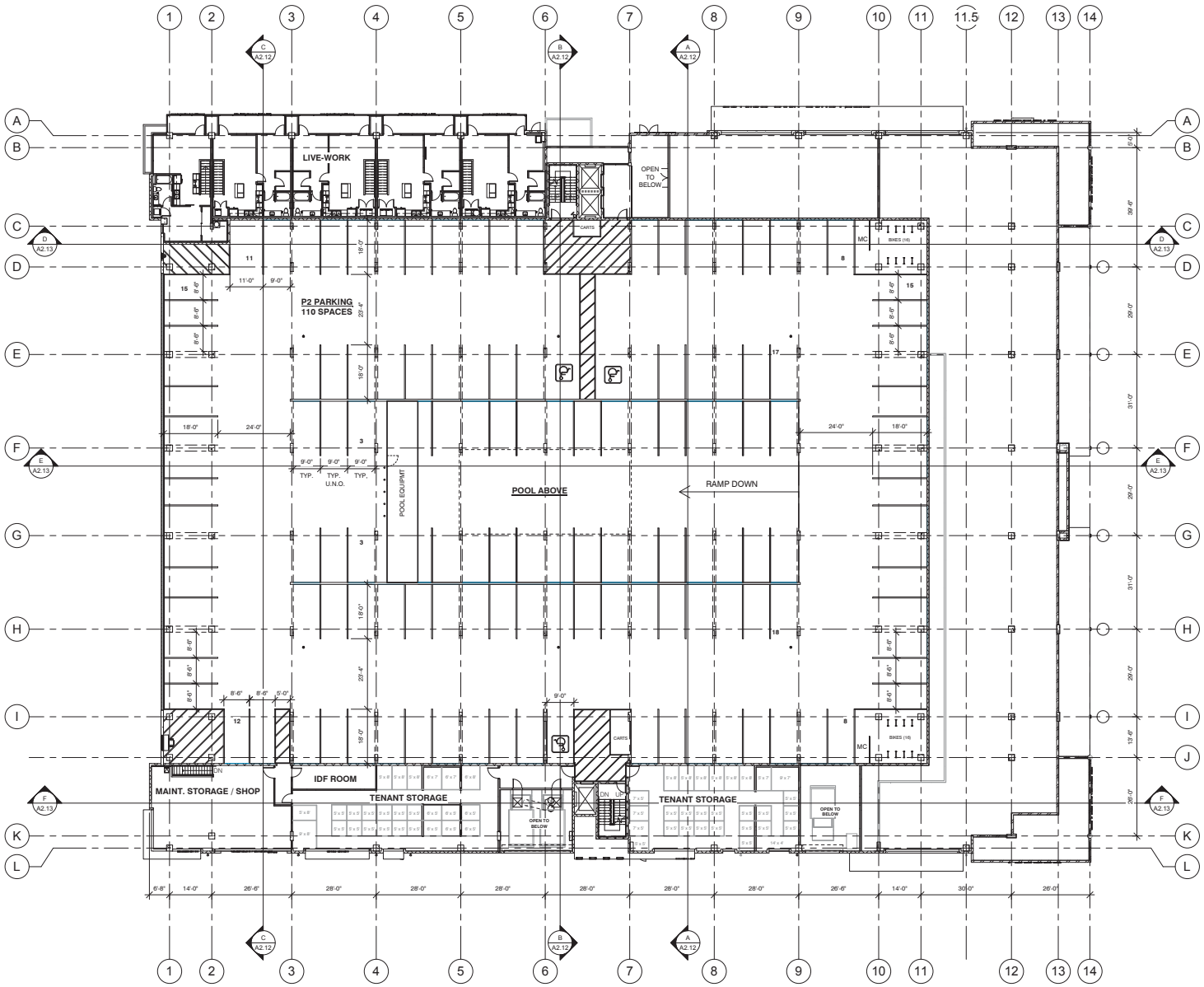

1 Bldg I - P2 Parking / Upper Level - Floor Plan - (Bldg II Similar / Mirrored)
1/16" = 1'-0"

SCALE: 0' - 1" = 16' - 0"
0' 8' - 0" 16' - 0" 32' - 0"

GENERAL NOTES

1. REFER TO GENERAL NOTES ON SHEET A0.1
2. UNLESS NOTED OTHERWISE, ALL FLOOR PLAN DIMENSIONS ARE MEASURED FROM:
   - A. FACE OF MASONRY OR CONCRETE: ALL MASONRY DIMENSIONS ARE NOMINAL
   - B. FACE OF PLYWOOD SHEATHING AT FRAME CONDITIONS
   - C. INTERIOR PARTITIONS: FACE OF STUD
   - D. CENTERLINE OF COLUMNS
3. ANGLES ARE 45 DEGREES AND 90 DEGREES - U.N.O.
4. ALL ELEVATIONS ARE FROM DATUM ELEVATION 0'-0" FFE AT GROUND FLOOR
5. GYPSUM WALL BOARD (GWB) AND FINISHES:
   - A. SEE GENERAL FINISH NOTES AND INTERIOR ELEVATIONS FOR EXTENT OF GWB.
   - B. PROVIDE CASING BEADS AT GWB EDGES WHEREVER GWB ABUTS A DIFFERENT MATERIAL. PROVIDE SQUARED CORNER BEADS AT ALL GWB CORNERS.
   - C. USE WATER RESISTANT GWB ON WALLS OF ALL RESTROOMS, THE KITCHEN BACK WALL, LAUNDRY ROOMS, AND MECHANICAL/WATER HEATER CLOSETS.
   - D. PROVIDE CEMENTITIOUS BACKER BOARD FOR TILE AT ALL TUB AND SHOWER SURROUNDS
   - E. FOR ALL WALL TYPES, PROVIDE INTERIOR FINISHES AS PER GENRAL FINISH NOTES AND INTERIOR ELEVATIONS.
6. REFER TO SHEETS A9.2.1 , A9.2.X FOR FIRE RATING, FIRE STOPPING, FIRE BLOCKING, PENETRATIONS AND SOUND CONTROL.
7. PROVIDE PORTABLE FIRE EXTINGUISHERS THROUGHOUT IN ACCORDANCE WITH IBC SEC. 906 AND NFPA 10
   - SEMI-RECESSED CABINETS AT FINISHED AREAS
   - SURFACE MOUNTED CABINETS AT EXPOSED CMU WALLS

FLOOR PLAN KEYNOTES

1.
2.
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4. C.I.P. CONCRETE COLUMN - REFER TO STRUCTURAL.
5. C.I.P. CONCRETE WALL - REFER TO STRUCTURAL.
6. 4" CONCRETE SLAB O/ ABC ON GRADE OR COMPACTED FILL.
7. PRECASAT CONCRETE PARKING CURB - WHERE SHOWN, AND AS REQ'D TO PROTECT ANY EXPOSED PIPING AND CONDUITS ALONG PERIMETER WALL.
8. 1 HR RATED PAINTED STEEL COLUMN - REFER TO DETAIL X / A9.X
9. BIKE RACK - REFER TO COT DETAIL X / X
10. TRASH CHUTE FROM TOP FLOOR TO GROUND FLOOR. REFER TO SHEET AX
11. PAINTED ACCESSIBLE PARKING SYMBOL AND SIGN ON WALL.
12.
13.
14. LANDSCAPE PLANTER
15. 4" PAINTED PARKING STRIPE
16. ELECTRICAL SERVICES & METERS - REFER TO ELECTRICAL.
17. C.I.P. CONCRETE STAIR.
18. FLOOR DRAIN - REFER TO PLUMBING.
19. SLOPE SLAB TO DRAIN.
20. ALUM. STOREFRONT - REFER TO ELEVATIONS AND SHEET A8.2.X
21. CANOPY ROOF ABOVE.
22. ACCESSIBLE RAMP
23. LINE OF DECK, BALCONY OR BUILDING ABOVE.
24. ROOF OVERHANG ABOVE.
25.
26. OA DUCT IN 1 HR RATED SHAFT - SEE TYP. ENLARGED PLAN X/A9.X
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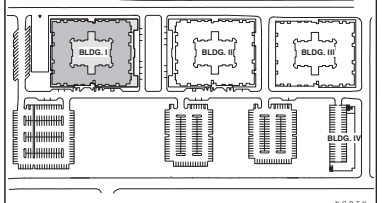
KEYPLAN



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JOB NUMBER:
DRAWN BY: AD
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ISSUE DATE: 06/22/2016

REGISTERED ARCHITECT 32407 KRISTJAN SIGURDSSON ARIZONA U.S.A.

SHEET TITLE:
Bldg I - P2 Parking / Upper Level

SHEET NUMBER:

A2.1.2

PAD / DPR #3

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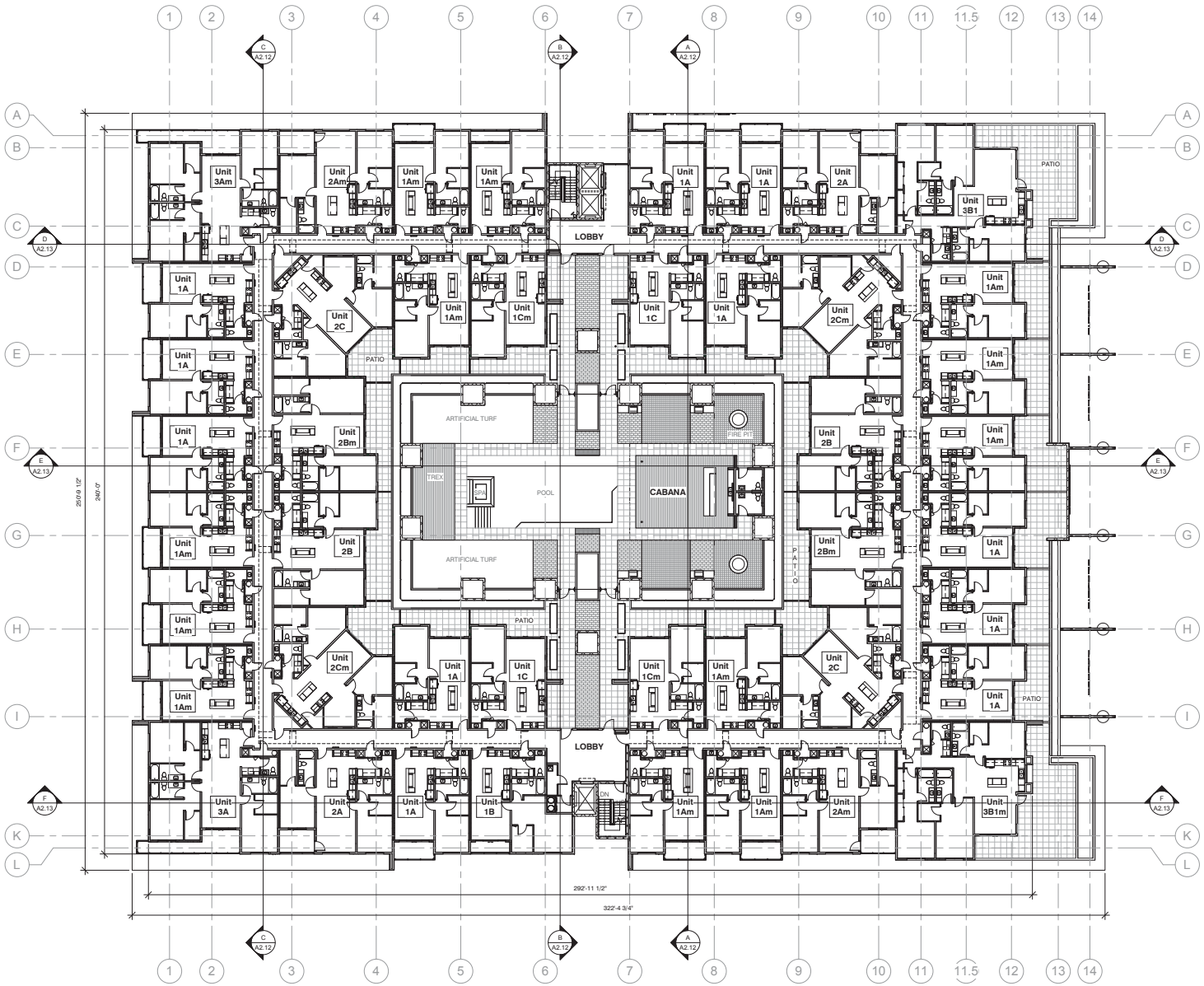

1 Bldg I - 2nd Floor Plan - (Bldg II Similar / Mirrored)
1/16" = 1'-0"

SCALE: 0' - 1" = 16' - 0"
0' 8' - 0" 16' - 0" 32' - 0"

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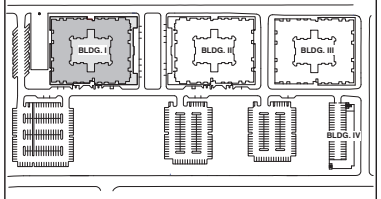
KEYPLAN



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ISSUE DATE: 06/22/2016

REGISTERED ARCHITECT 32407 KRISTJAN SIGURDSSON ARIZONA U.S.A.

SHEET TITLE:
Bldg I -
2nd Floor Plan

SHEET NUMBER:
A2.2.1

PAD / DPR #3

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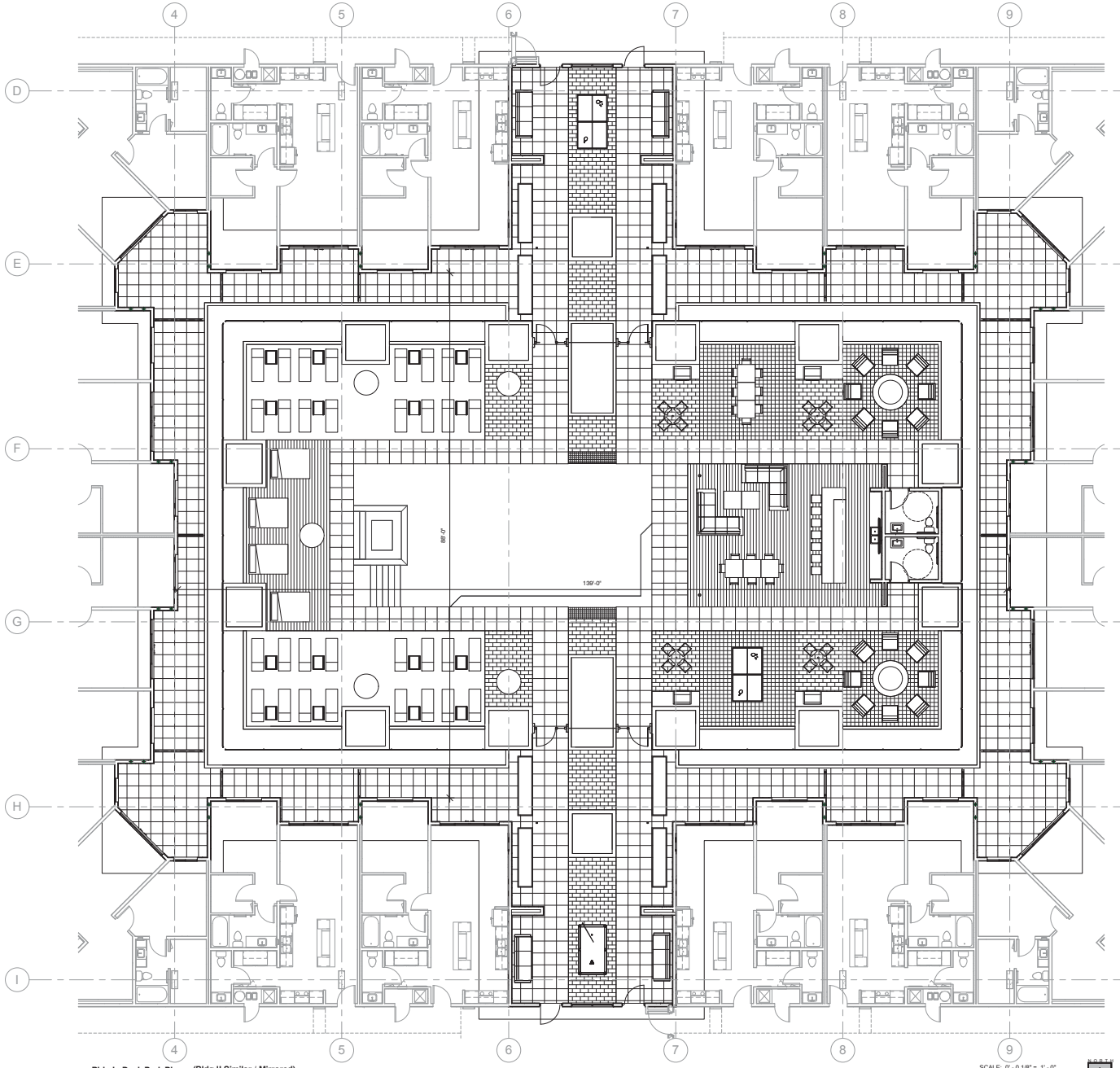

1 Bldg I - Deck Park Plan - (Bldg II Similar / Mirrored)
1/8" = 1'-0"

SCALE: 0' - 0 1/8" = 1' - 0"
0' 4' - 0" 8' - 0" 16' - 0"

NORTH

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34. 60"H STEEL POOL FENCE AND GATE W/ SELF CLOSER & LATCH
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36. C.M.U. PLANTER AND GUARDRAIL - REFER TO ELEVATIONS AND DECK PARK DETAILS
37. SERVICE SINK.
38. 1 HR STEEL COLUMN - GC OPTION TO MONOKOTE OR DRYWALL WRAP PER DETAIL X/A9.2.X
    FURR OUT OR UPSIZE SURROUNDING STUDS AS REQ'D TO CONCEAL COLUMN.
39. OPEN TO BELOW.
40. STEEL GUARDRAIL.
41. PRECAST CONCRETE PAVERS.
42. FRP PLANTER (TOURNESOL)
43.
44. FIREPIT
45. DECK DRAIN
46. LINE OF CONCRETE COLUMN BELOW.
47. SLOPE CONCRETE DECK TO DRAIN AT 1/4" / FOOT MIN.
48.
49. ROOF BELOW
50. ROOF DRAIN AND OVERFLOW IN WALL
51. THRU-WALL SCUPPER
52. TYP. UNIT ENTRY FEATURE, POP-OUT WALL AND SOFFIT
53. FIRE EXTINGUISHER CABINET. REFER TO DETAIL X / A9.X
54. MISTING EQUIPMENT ON SHELF
55. LIGHT BOLLARD - SEE ELECTRICAL

GENERAL INSULATION NOTES

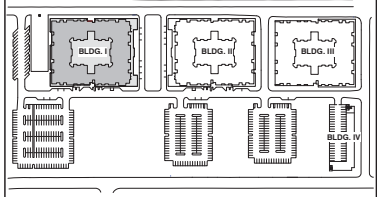
1. PROVIDE INSULATION AT ALL WALLS AND ASSEMBLIES, AS REQURIED TO ACHIVE REQUIRED SOUND AND FIRE RATING, PER DETAILS ON SHEEETS A9.2.x
2. IN GENERAL PROVIDE THE FOLLWOING INSULATION TYPES AND VALUES:

R-30	BATTS	ROOF/CEILING ASSEMBLY
R-11	BATTS	FLOOR/CEILING ASSEMBLY BETWEEN UNITS
R-19	BATTS	ALL EXTERIOR WALLS AND APPLICABLE 2X6 INTERIOR WALLS
3.5"	SOUND BATTS	ALL CORRIDOR WALLS, BOTH SIDES OF UNIT DEMISING WALLS AROUND ALL UNIT BATHROOMS AND LAUNDRY ROOMS

GENERAL FINISH NOTES

1. ALL CORRIDORS TO RECEIVE 2X2 COMMERCIAL GRADE CARPET SQUARES - 3 DIFFERENT COLOURS/PATTERNS AS SELECTED BY ARCHITECT - 1X6 PAINTED MDF BASE
2. ALL UTILITY AND STORAGE ROOMS TO RECEIVE VCT TILE AND 4" COVED RUBBER BASE
3. ALL HARDROCK CONCRETE AT UNIT BALCONIES TO BE WATER SEALED
4. PROVIDE PEDESTRIAN DECK COATING FOR 2ND FLOOR OUTSIDE PERIMETER UNIT BALCONIES

KEYPLAN



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OWNERSHIP OF DOCUMENTS

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JOB NUMBER:

DRAWN BY: AD

CHECKED BY: KS

ISSUE DATE: 06/22/2016

REGISTERED ARCHITECT 32407 KRISTJAN SIGURDSSON ARIZONA U.S.A.

SHEET TITLE:
Bldg I -
Deck Park Plan

SHEET NUMBER:

A2.2.2

PAD / DPR #3

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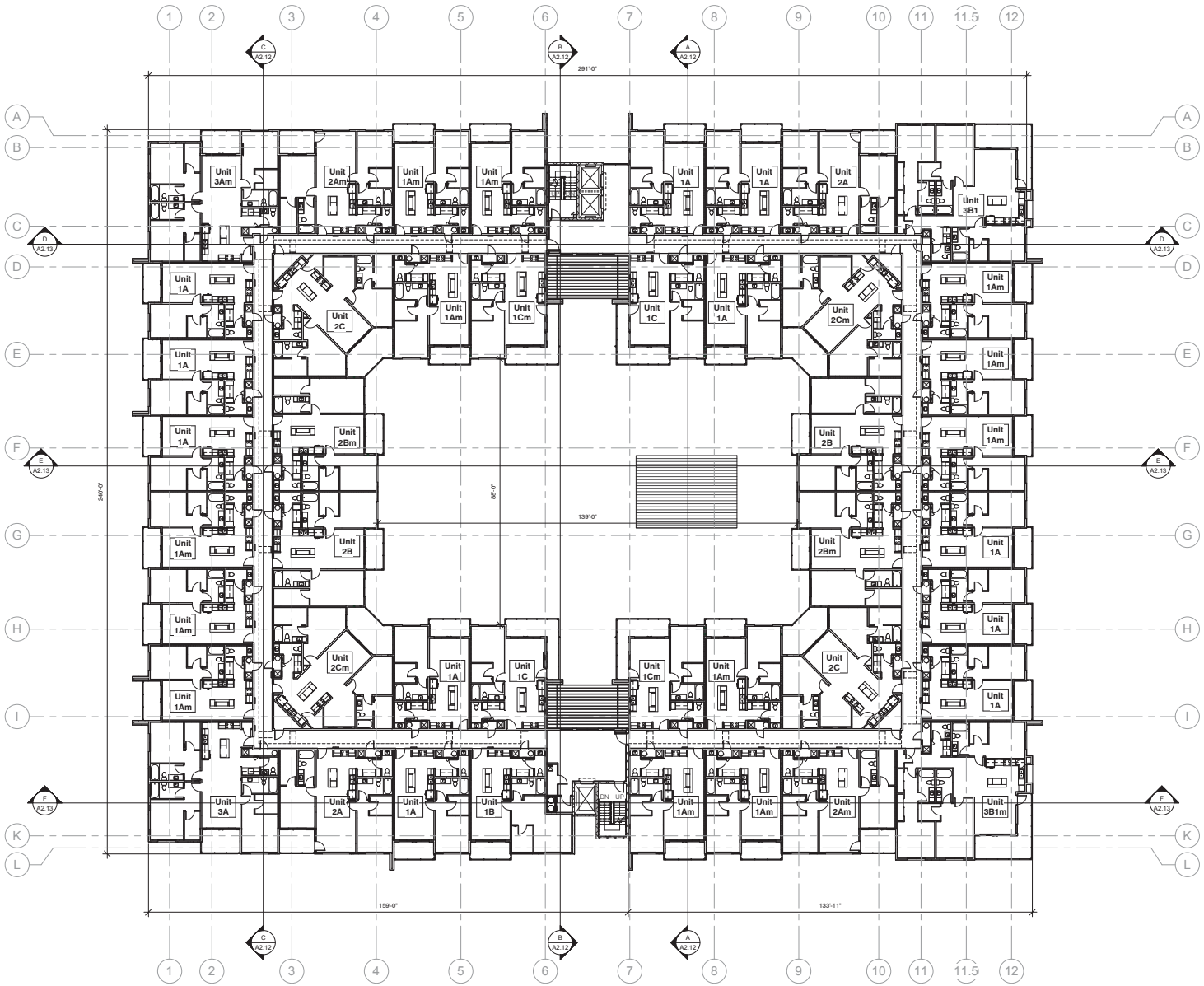

1 Bldg I - 3rd Floor Plan (Floors 3-6 SIM) - (Bldg II Similar / Mirrored)
1/16" = 1'-0"

SCALE: 0' - 1" = 16' - 0"
0' 8' - 0" 16' - 0" 32' - 0"

NORTH

GENERAL NOTES

1. REFER TO GENERAL NOTES ON SHEET A0.1
2. UNLESS NOTED OTHERWISE, ALL FLOOR PLAN DIMENSIONS ARE MEASURED FROM:
   A. FACE OF MASONRY OR CONCRETE: ALL MASONRY DIMENSIONS ARE NOMINAL
   B. FACE OF PLYWOOD SHEATHING AT FRAME CONDITIONS
   C. INTERIOR PARTITIONS: FACE OF STUD
   D. CENTERLINE OF COLUMNS
3. ANGLES ARE 45 DEGREES AND 90 DEGREES - U.N.O.
4. ALL ELEVATIONS ARE FROM DATUM ELEVATION 0'-0" FFE AT GROUND FLOOR
5. GYPSUM WALL BOARD (GWB) AND FINISHES:
   A. SEE GENERAL FINISH NOTES AND INTERIOR ELEVATIONS FOR EXTENT OF GWB.
   B. PROVIDE CASING BEADS AT GWB EDGES WHEREVER GWB ABUTS A DIFFERENT MATERIAL. PROVIDE SQUARED CORNER BEADS AT ALL GWB CORNERS.
   C. USE WATER RESISTANT GWB ON WALLS OF ALL RESTROOMS, THE KITCHEN BACK WALL, LAUNDRY ROOMS, AND MECHANICAL/WATER HEATER CLOSETS.
   D. PROVIDE CEMENTITIOUS BACKER BOARD FOR TILE AT ALL TUB AND SHOWER SURROUNDS
   E. FOR ALL WALL TYPES, PROVIDE INTERIOR FINISHES AS PER GENRAL FINISH NOTES AND INTERIOR ELEVATIONS.
6. REFER TO SHEETS A9.2.1 , A9.2.X FOR FIRE RATING, FIRE STOPPING, FIRE BLOCKING, PENETRATIONS AND SOUND CONTROL.
7. PROVIDE PORTABLE FIRE EXTINGUISHERS THROUGHOUT IN ACCORDANCE WITH IBC SEC. 906 AND NFPA 10
   - SEMI-RECESSED CABINETS AT FINISHED AREAS
   - SURFACE MOUNTED CABINETS AT EXPOSED CMU WALLS

FLOOR PLAN KEYNOTES

1.
2.
3. C.M.U. WALL - REFER TO SECTIONS
4. C.I.P. CONCRETE COLUMN - REFER TO STRUCTURAL.
5. C.I.P. CONCRETE WALL - REFER TO STRUCTURAL.
6. 4" CONCRETE SLAB O/ ABC ON GRADE OR COMPACTED FILL.
7. PRECASAT CONCRETE PARKING CURB - WHERE SHOWN, AND AS REQ'D TO PROTECT ANY EXPOSED PIPING AND CONDUITS ALONG PERIMETER WALL.
8. 1 HR RATED PAINTED STEEL COLUMN - REFER TO DETAIL X / A9.X
9. BIKE RACK - REFER TO COT DETAIL X / X
10. TRASH CHUTE FROM TOP FLOOR TO GROUND FLOOR. REFER TO SHEET AX
11. PAINTED ACCESSIBLE PARKING SYMBOL AND SIGN ON WALL.
12.
13.
14. LANDSCAPE PLANTER
15. 4" PAINTED PARKING STRIPE
16. ELECTRICAL SERVICES & METERS - REFER TO ELECTRICAL.
17. C.I.P. CONCRETE STAIR.
18. FLOOR DRAIN - REFER TO PLUMBING.
19. SLOPE SLAB TO DRAIN.
20. ALUM. STOREFRONT - REFER TO ELEVATIONS AND SHEET A8.2.X
21. CANOPY ROOF ABOVE.
22. ACCESSIBLE RAMP
23. LINE OF DECK, BALCONY OR BUILDING ABOVE.
24. ROOF OVERHANG ABOVE.
25.
26. OA DUCT IN 1 HR RATED SHAFT - SEE TYP. ENLARGED PLAN X/A9.X
27. DATA CLOSET - SEE ELECTRICAL.
28. 18" H - 12" C.M.U. PLANTER WALL - TILE FRONT & TOP.
29. 48" H - 8" C.M.U. PLANTER WALL - STUCCO
30. 24" H - 8" C.M.U. PLANTER WALL - STUCCO
31. 60" H - 8" C.M.U. (TRENDSTONE) PLANTER WALL W/ 4" SOLID CAP
32. LINE OF SHADE STRUCTURE / CANOPY ABOVE.
33. 60" HIGH CUSTOM 'GREENSCREEN' POOL FENCE.
34. 60"H STEEL POOL FENCE AND GATE W/ SELF CLOSER & LATCH
35. C.M.U. PLANTER - REFER TO DECK PARK PLANS.
36. C.M.U. PLANTER AND GUARDRAIL - REFER TO ELEVATIONS AND DECK PARK DETAILS
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GENERAL FINISH NOTES

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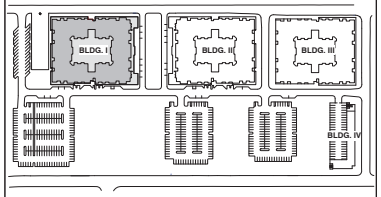
KEYPLAN



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JOB NUMBER:
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CHECKED BY: KS
ISSUE DATE: 06/22/2016

32407 KRISTJAN SIGURDSSON

SHEET TITLE:
Bldg I -
3rd Floor Plan

SHEET NUMBER:

A2.3

PAD / DPR #3

6/15/2016 3:42:53 PM

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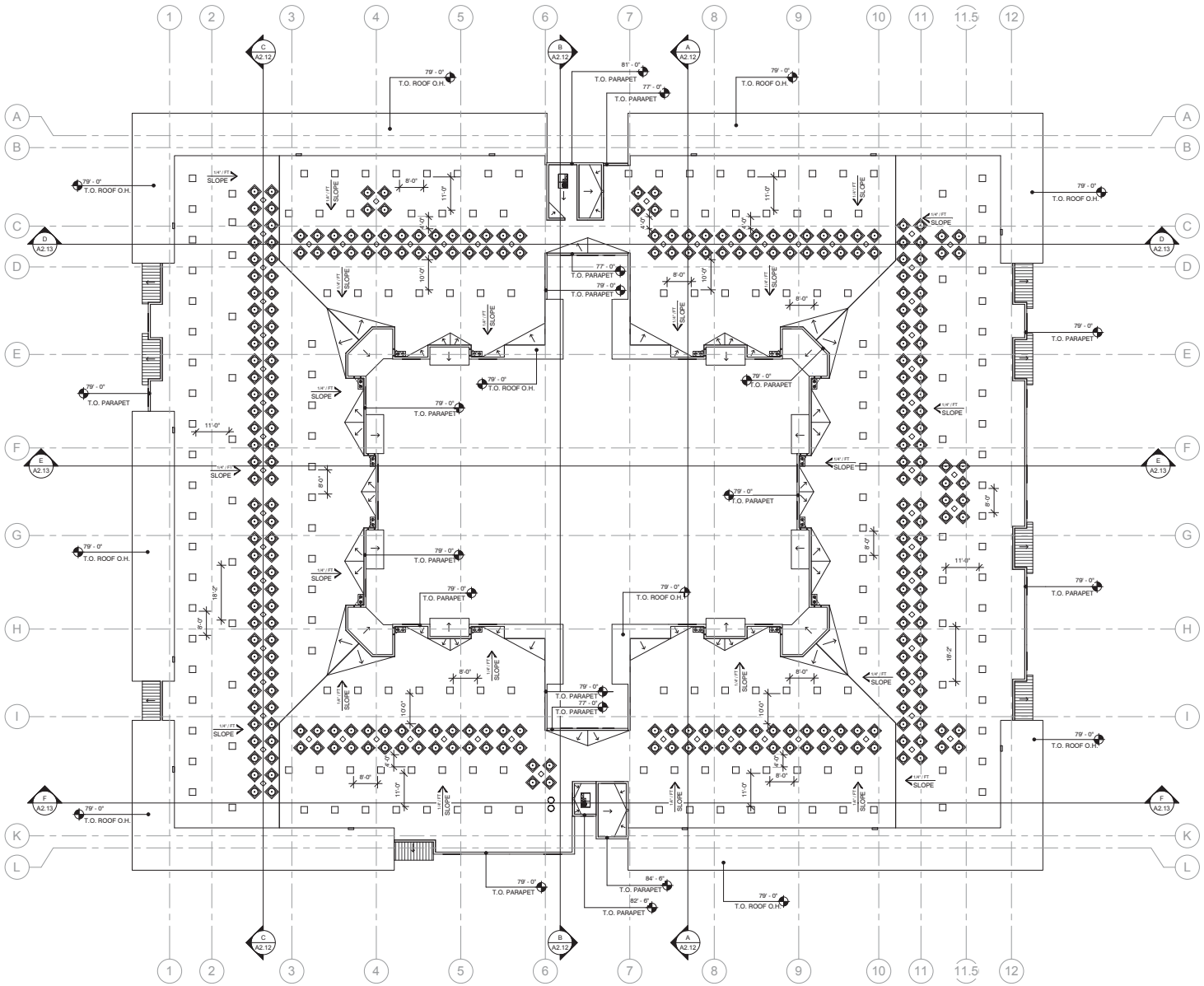


1 Bldg I -- (Bldg II Similar / Mirrored)
1/16" = 1'-0"

SCALE: 0' - 1" = 16' - 0"
0' 8' - 0" 16' - 0" 32' - 0"

GENERAL ROOF NOTES

1. REFER TO GENERAL NOTES ON SHEET A0.1 FOR ADDITIONAL INFO/REQURIEMENTS
2. ALL "TOP OF" ELEVATIONS SHOWN ARE BASED FROM DATUM FINISH FLOOR ELEVATION 0'-0" AT GROUND FLOOR
3. SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING ROOF PENETRATIONS AND ADDITIONAL ITEMS OF COORDINATION NOT SHOWN ON ROOF PLAN
4. ALL AREAS OF THE ROOF SURFACE SHALL MAINTAIN A MIN. 1/4" PER FOOT SLOPE. CRICKET VALLEYS SHALL BE A MINIMUM OF 1/8" PER FOOT SLOPE.
5. ALL ROOF MOUNTED EQUIPMENT SHALL BE COMPLETELY SCREENED FROM VIEW BY THE BUILDING PARAPET OR MECHANICAL SCREEN WALL.
6. NO PLUMBING VENTS OR EXHAUST UNITS WITHIN 10'-0" OF INTAKE OR 5'-0" OF EXTERIOR WALL
7. ALL ROOF PENETRATIONS, INCLUDING PLUMBING AND ELECTRICAL ROOF JACKS SHALL BE 18" MIN. APART AND MADE PRIOR TO MEMBRANE ROOF INSTALLATION
8. OVERFLOW SCUPPER RIMS SHALL BE 2" ABOVE PRIMARY ROOF DRAIN RIMS. COORDINATE AND VERIFY INSTALLATION
9. BACK SIDE OF PARAPETS TO BE FINISHED TO MATCH COLOR OF WALL IN FRONT
10. STUCCO FINISH COAT ON TOP AND BACK SIDES OF ALL WALL COPINGS
11. THE ATTIC SPACE SHALL BE ACCESSIBLE, PROVIDE 20" x 30" ACCESS DOOR AT 6TH FLOOR CEILING, FRE RATED.
12. MULTIPLE ROOF TOP HVAC UNITS ARE TO BE IDENTIFIED INDIVIDUALLY AND BY THE AREA UNIT THEY SERVE.
13. FRAMER TO PROVIDE 2x4 BLOCKING BETWEEN TRUSSES AT EACH ROOF VENT OPENING. DISPERSE ROOF VENTS THROUGHOUT THE ROOF AREA BEING SERVED.
14. DRAFTSTOPPING IN ATTICS IS NOT REQUIRED IN GROUP R-2 OCCUPANCIES EQUIPPED WITH AN AUTOMATIC SPRINKLER COMPLYING WITH 903.3.1.1, PER IBC 718.4.2 EXCEPTION 2.

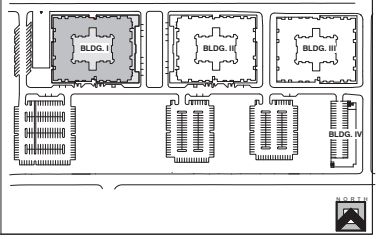
ROOF KEYNOTES

1. 1" THICK MIN. CLASS B RIGID SPRAY-APPLIED POLYURETHANE FOAM ROOFING SYSTEM WITH CEMENTITIOUS TOP COATING OVER EXTERIOR GRADE PLYWOOD SHEATHING, PER ESR-2532
   - MIN. AGED SOLAR REFLECTANCE 0.55
   - MIN. AGED THERMAL EMITTANCE 0.75
   - MIN. AGED SRI 60
2. STUCCO SYSTEM OVER PLYWOOD SHEATHING
3. ROOF EDGE FOAM STOP AND METAL FACIA
4. METAL SCUPPER THROUGH WALL
5. AC CONDENSING UNIT - REFER TO MECHANICAL DRAWINGS AND DETAILS
6.
7. PARAPET - RUN FOAM UP BACKSIDE OF WALL TO STUCCO
8. BUILT-UP FOAM CANT AT PERIMETER OF ROOF - REFER TO DETAIL X / A9.X
9. BUILT-UP WOOD FRAME CRICKET - 1/4" SLOPE MIN. - 1/8 CROSS SLOPE MIN. AT CRICKET VALLEY
10. CANTILEVERED ROOF OVERHANG - FOAM ROOF ON TOP
11.
12. ROOF DRAIN AND OVERFLOW (RD&OF) - REFER TO DETAIL X/A9.X
13. RUN RD&OF DOWN DEMISING OR CORRIDOR WALL BELOW - THROUGH GARAGE DECK
14. RUND RD&OF LEADER DOWN THROUGH DEMISING AND/OR UNIT WALL BELOW TO GROUND FLOOR CEILING
15. VENT STACK FOR TRASH CHUTE.
16.
17. ROOF VENT TYPICAL - REFER TO ROOF SYMBOLS.

ROOF SYMBOLS LEGEND

- 1/4" / FT SLOPE — ROOF SLOPE TO DRAIN 1/4" PER FOOT.
- ROOF CRICKET SLOPE TO DRAIN
- ROOF DRAIN AND OVERFLOW - REFER TO DETAIL
- 18" x 18" FLAT VENT CAP - REFER TO DETAIL
- 22 1/2" W x 36" H - WALL LOUVER VENT - REFER TO DETAIL
- ROOF MOUNTED TRASH CHUTE EXHAUST
- 0' - 0" — HEIGHT OF ELEMENT A.F.F. (0'-0")
- CONDENSING UNITS ON RAISED CURB. REFER TO MECHANICAL

KEYPLAN



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JOB NUMBER:

DRAWN BY: AD

CHECKED BY: KS

ISSUE DATE: 06/22/2016

REGISTERED ARCHITECT 32407 KRISTJAN SIGURDSSON ARIZONA U.S.A.

SHEET TITLE:
Bldg I -
Roof Plan

SHEET NUMBER:

A2.8

PAD / DPR #3

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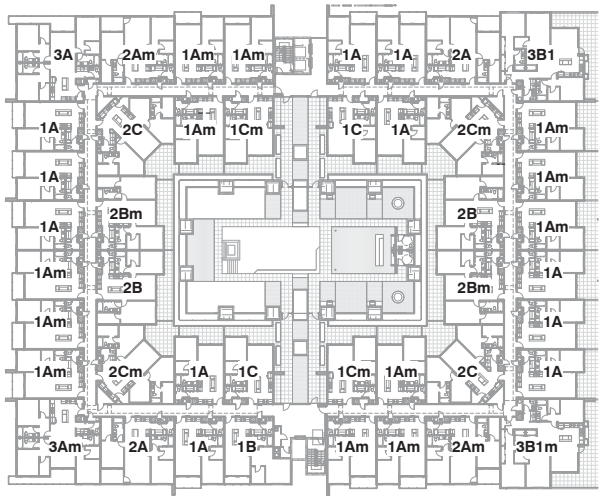
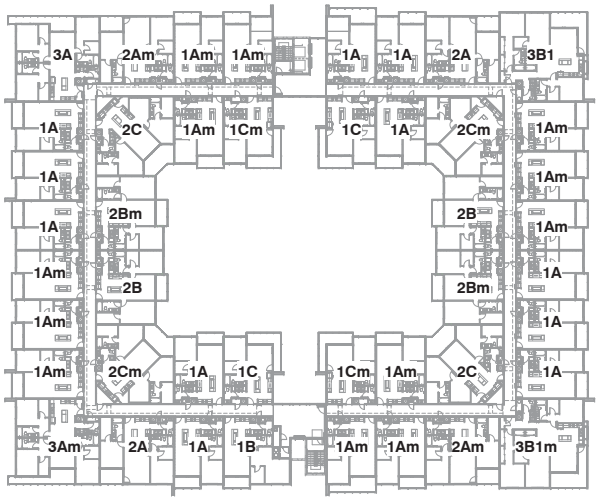
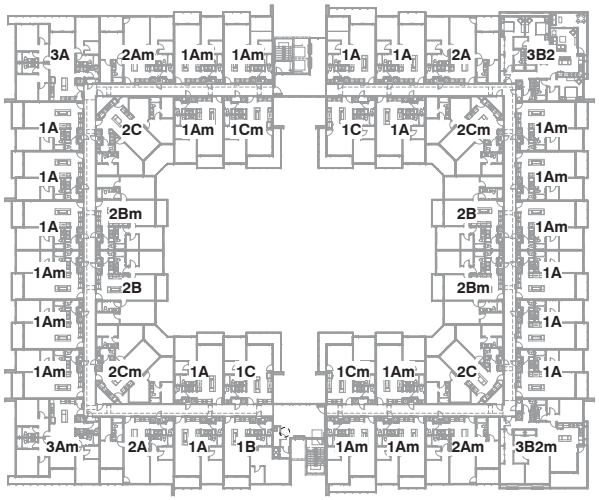


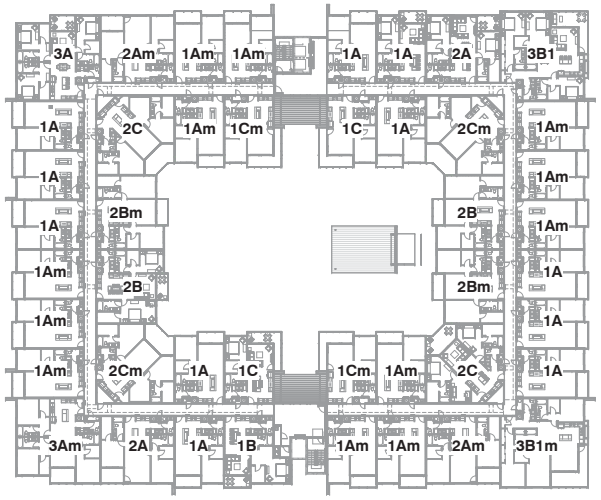
1 2nd Floor - Unit Mix
1" = 30'-0"
'm' - Indicates 'mirrored' unit



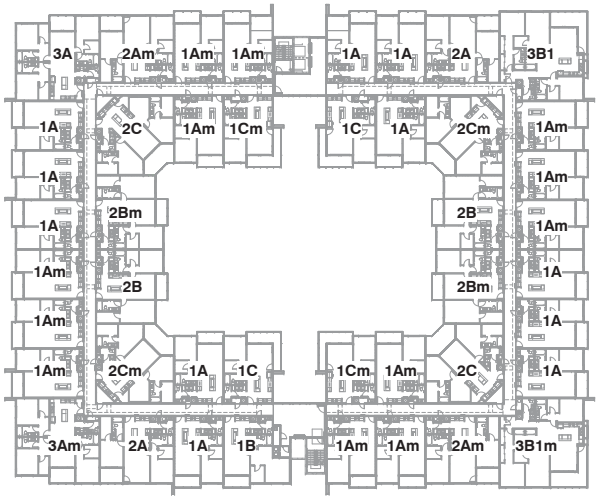
3 4th Floor - Unit Mix
1" = 30'-0"
'm' - Indicates 'mirrored' unit



5 6th Floor - Unit Mix
1" = 30'-0"
'm' - Indicates 'mirrored' unit



2 3rd Floor - Unit Mix
1" = 30'-0"
'm' - Indicates 'mirrored' unit



4 5th Floor - Unit Mix
1" = 30'-0"
'm' - Indicates 'mirrored' unit

EASTLINE VILLAGE — Unit Mix & Gross Rentable Areas — 6/13/2016

Unit	Type	Gross Areas Unit	Balcony	Total	Units per Building - Bldg. I 2nd Flr	3rd Flr	4th Flr	5th Flr	6th Flr	220 Total Units	Total Units	Total Gross Areas Balcony	Total RSF
1A	1 Bed	836	81	917	23	23	23	23	23	115	96,140	9,315	105,455
1B		968	81	1,049	1	1	1	1	1	5	4,840	405	5,245
1C		943	164	1,007	4	4	4	4	4	20	16,860	3,280	20,140
2A	2 Bed	1,239	93	1,332	4	4	4	4	4	20	24,780	1,860	26,640
2B		1,232	82	1,314	4	4	4	4	4	20	24,640	1,640	26,280
2C		1,382	166	1,548	4	4	4	4	4	20	27,640	3,320	30,960
3A	3 Bed	1,659	102	1,761	2	2	2	2	2	10	16,590	1,020	17,610
3B1		1,738	222	1,960	2	2	2	2		8	13,904	1,776	15,680
3B2		1,685	226	1,911					2	2	3,370	452	3,822
Total					44	44	44	44	44	220	228,764	23,068	251,832

Total Units	% of total
140	63.64
60	27.27
20	9.09
220	100.00

Total Beds
140
120
60
320

Number of Unit	Type	Average Gross Areas Unit	Balcony	Total
140	1 Bed	842	93	935
60	2 Bed	1,264	114	1,378
20	3 Bed	1,693	162	1,855
220	Average	1,040	109	1,149

Note: Gross Rentable Areas calculated from outside face (sheathing) of exterior wall and corridor to centerline of demising wall between units

EASTLINE VILLAGE — Unit Mix & Net Livable Areas — 6/13/2016

Unit	Type	Net Livable Area	Units per Building - I 2nd Flr	3rd Flr	4th Flr	5th Flr	6th Flr	220 Total Units	Total NLA Units
1A	1 Bed	775	23	23	23	23	23	115	89,240
1B		886	1	1	1	1	1	5	4,430
1C		774	4	4	4	4	4	20	15,480
2A	2 Bed	1,162	4	4	4	4	4	20	23,240
2B		1,156	4	4	4	4	4	20	23,120
2C		1,301	4	4	4	4	4	20	26,020
3A	3 Bed	1,560	2	2	2	2	2	10	15,600
3B1		1,641	2	2	2	2		8	13,128
3B2		1,591					2	2	3,182
Total			44	44	44	44	44	220	213,440

Total Units	% of total
140	63.64
60	27.27
20	9.09
220	100.00

Number Units	Type of Unit	Ave. NLA Unit
140	1 Bed	763
60	2 Bed	1,229
20	3 Bed	1,596
220	Average	970

Note: Net Livable Area calculated from inside face of finished walls

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32407 KRISTJAN SIGURDSSON ARIZONA U.S.A.

SHEET TITLE:
Unit Mix & Areas - Bldg I

SHEET NUMBER:

A4.0.1

PAD / DPR #3

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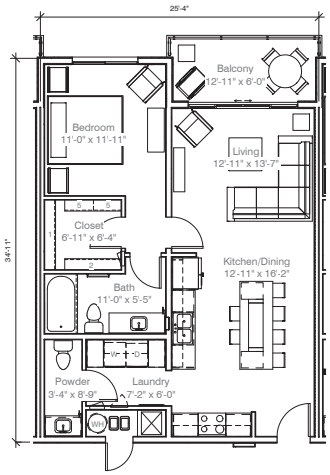
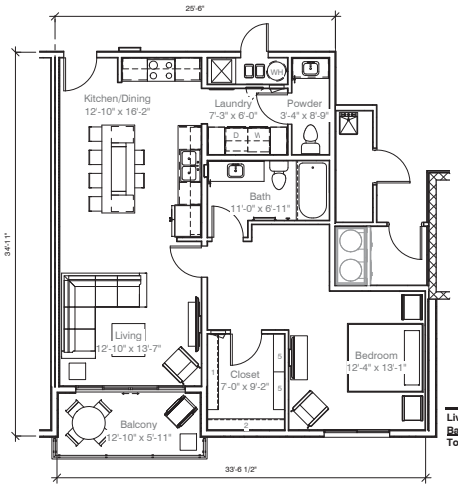


Unit 1A

Livable	836 SF
Balcony	81 SF
Total	917 SF

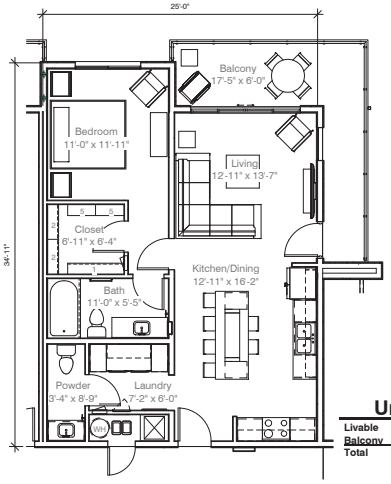
1 UNIT 1A - FLOOR PLAN
3/16" = 1'-0"



Unit 1B

Livable	968 SF
Balcony	81 SF
Total	1,029 SF

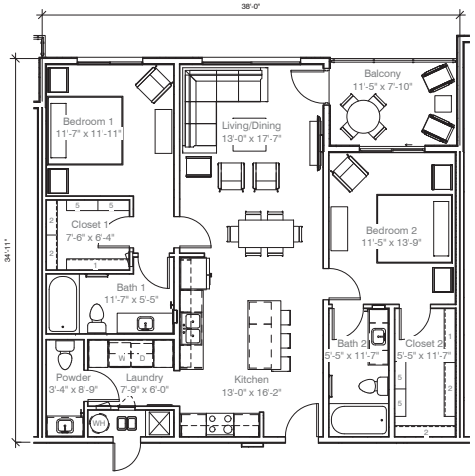
2 UNIT 1B - FLOOR PLAN
3/16" = 1'-0"



Unit 1C

Livable	843 SF
Balcony	164 SF
Total	1,007 SF

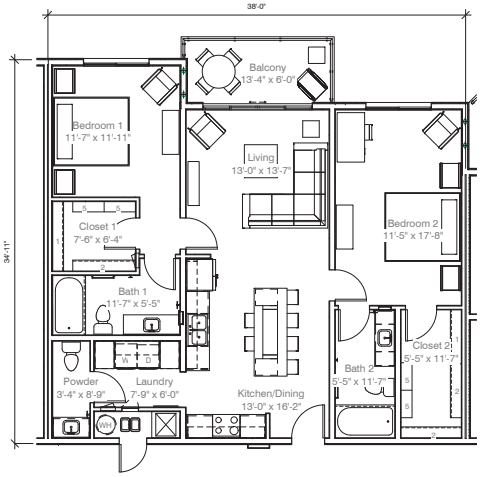
3 UNIT 1C - FLOOR PLAN
3/16" = 1'-0"



Unit 2A

Livable	1,239 SF
Balcony	93 SF
Total	1,332 SF

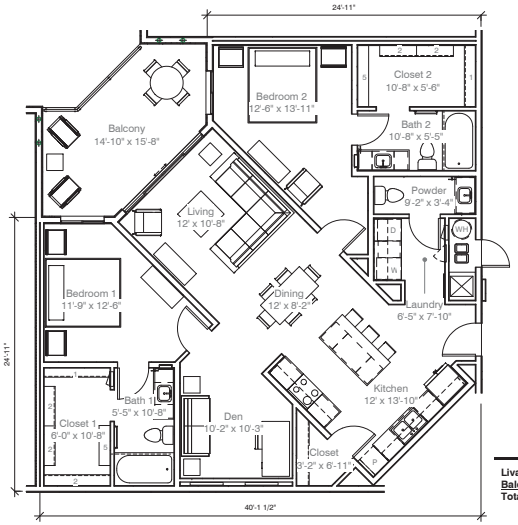
4 UNIT 2A - Floor Plan
3/16" = 1'-0"



Unit 2B

Livable	1,232 SF
Balcony	82 SF
Total	1,314 SF

5 UNIT 2B - FLOOR PLAN
3/16" = 1'-0"



Unit 2C

Livable	1,382 SF
Balcony	166 SF
Total	1,548 SF

6 UNIT 2C - FLOOR PLAN
3/16" = 1'-0"

6/16/2016 3:22:57 PM

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SHEET TITLE:
Unit Plans

SHEET NUMBER:
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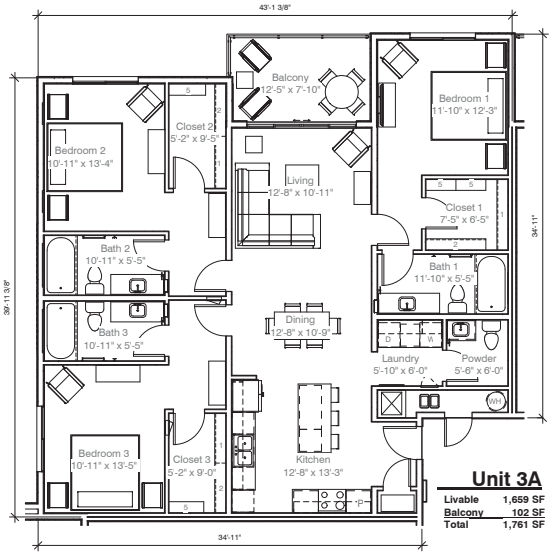
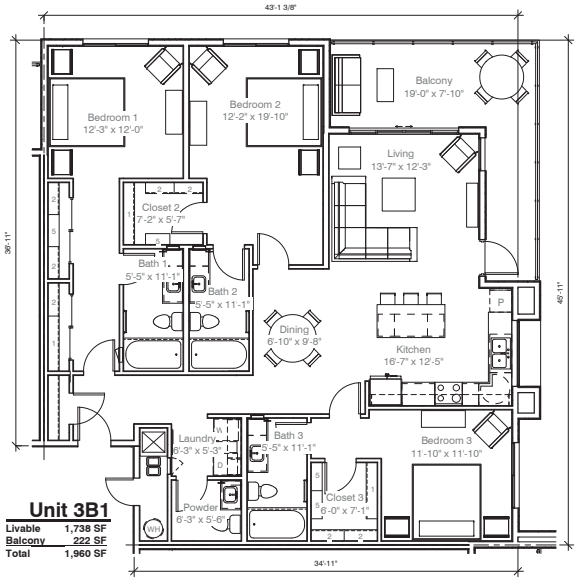


Unit 3A

Livable	1,659 SF
Balcony	102 SF
Total	1,761 SF

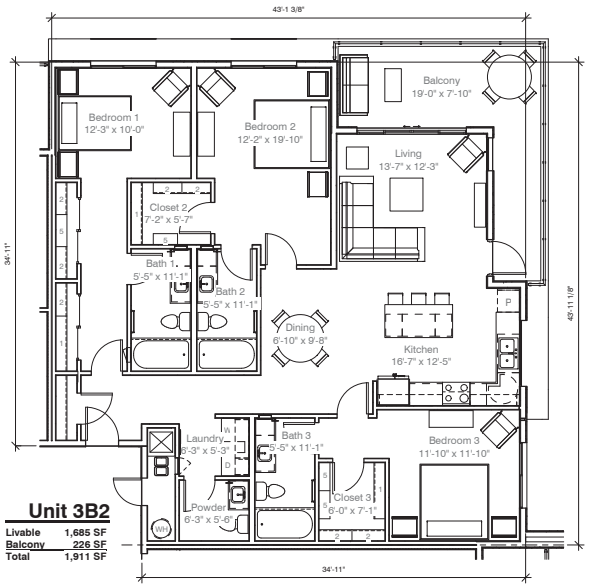
① **UNIT 3A - FLOOR PLAN**
3/16" = 1'-0"



Unit 3B1

Livable	1,738 SF
Balcony	222 SF
Total	1,960 SF

② **UNIT 3B1 - FLOOR PLAN**
3/16" = 1'-0"



Unit 3B2

Livable	1,685 SF
Balcony	226 SF
Total	1,911 SF

③ **UNIT 3B2 - FLOOR PLAN**
3/16" = 1'-0"

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SHEET TITLE:
Unit Plans

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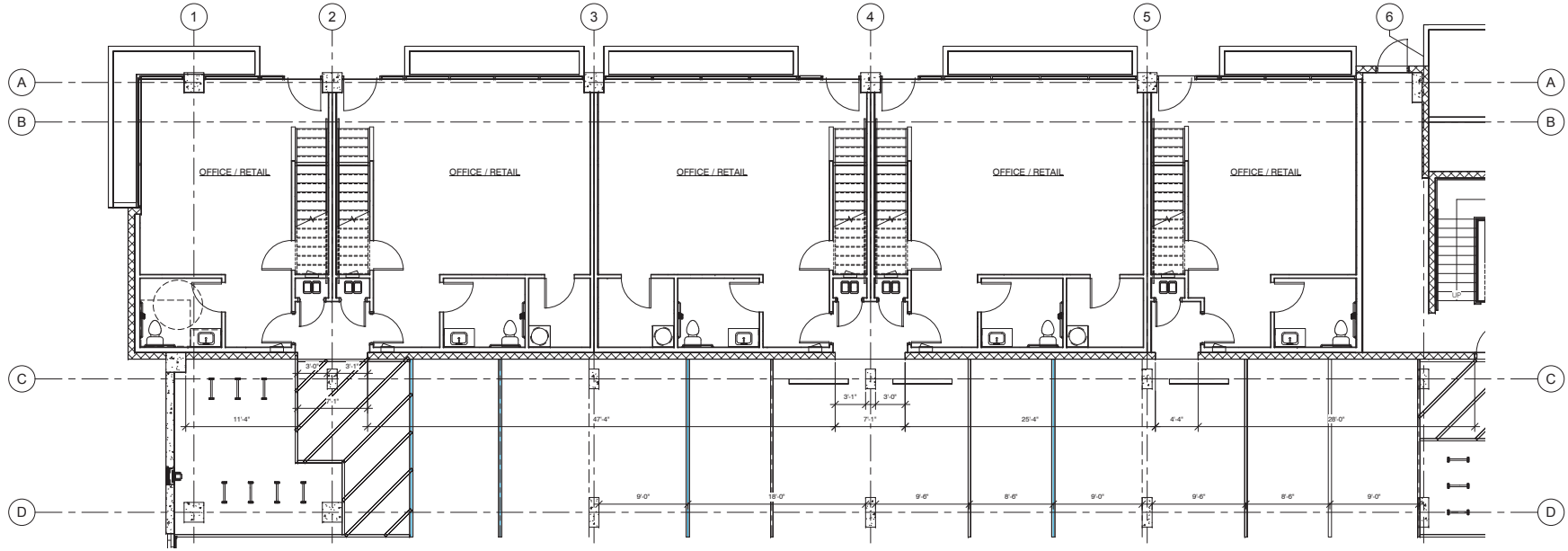


1 LW-Units @ P1 Parking / Ground Floor
3/16" = 1'-0"

Unit LW-A

Ground Level	511 SF
Upper Level	658 SF
Total	1,169 SF
Balcony	80 SF

Unit LW-B

Ground Level	692 SF
Upper Level	674 SF
Total	1,366 SF
Balcony	138 SF

Unit LW-C

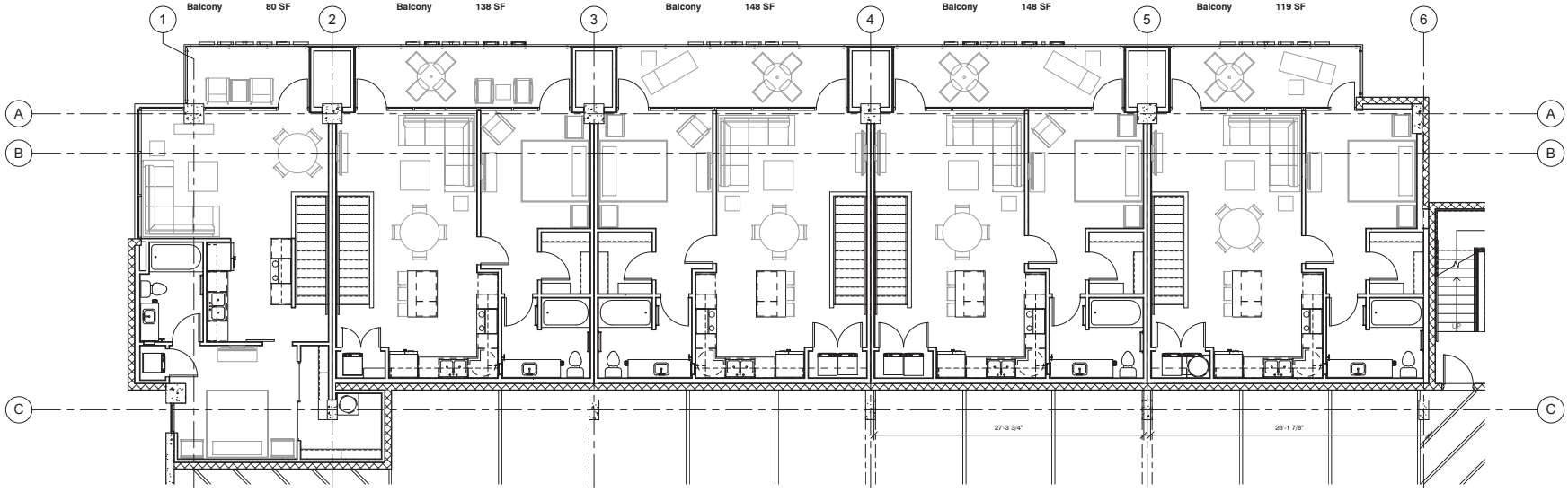
Ground Level	734 SF
Upper Level	715 SF
Total	1,449 SF
Balcony	148 SF

Unit LW-Cm

Ground Level	734 SF
Upper Level	715 SF
Total	1,449 SF
Balcony	148 SF

Unit LW-D

Ground Level	548 SF
Upper Level	735 SF
Total	1,283 SF
Balcony	119 SF



2 LW-Units @ P2 Parking / Upper Level
3/16" = 1'-0"

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Unit Plans - LW-Units

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PAD / DPR #4

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SHEET TITLE:
Rendering - Apache Blvd. from NW

SHEET NUMBER:

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PAD / DPR #3

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SHEET TITLE:
Rendering - Apache Blvd. from NE

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Typical Balcony

Leasing Office & Main Lobby

Sidewalk along Apache Blvd. Live-Works

Building I - Live-Work Units - from NW

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Rendering Vignette

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Deck Park

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SHEET TITLE:
Rendering - Deck Park

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A0.4

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1 3D View - Overall Phase I - from NW

2 3D View - Plaza Drive

NOTE: 3D Views shown for massing and character
Landscaping not shown for clarity

3 3D View - Bldg. I - Leasing, Lobby, & Live-Work

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K. Sigurdsson

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3D Views - Overall Site

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A1.8.1

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1 3D View - Overall Phase I - from SE

2 3D View - Plaza Drive - from SE

NOTE: 3D Views shown for massing and character
Landscaping not shown for clarity

3 3D View - Bldg. II - Garage Entry

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3D Views - Overall Site

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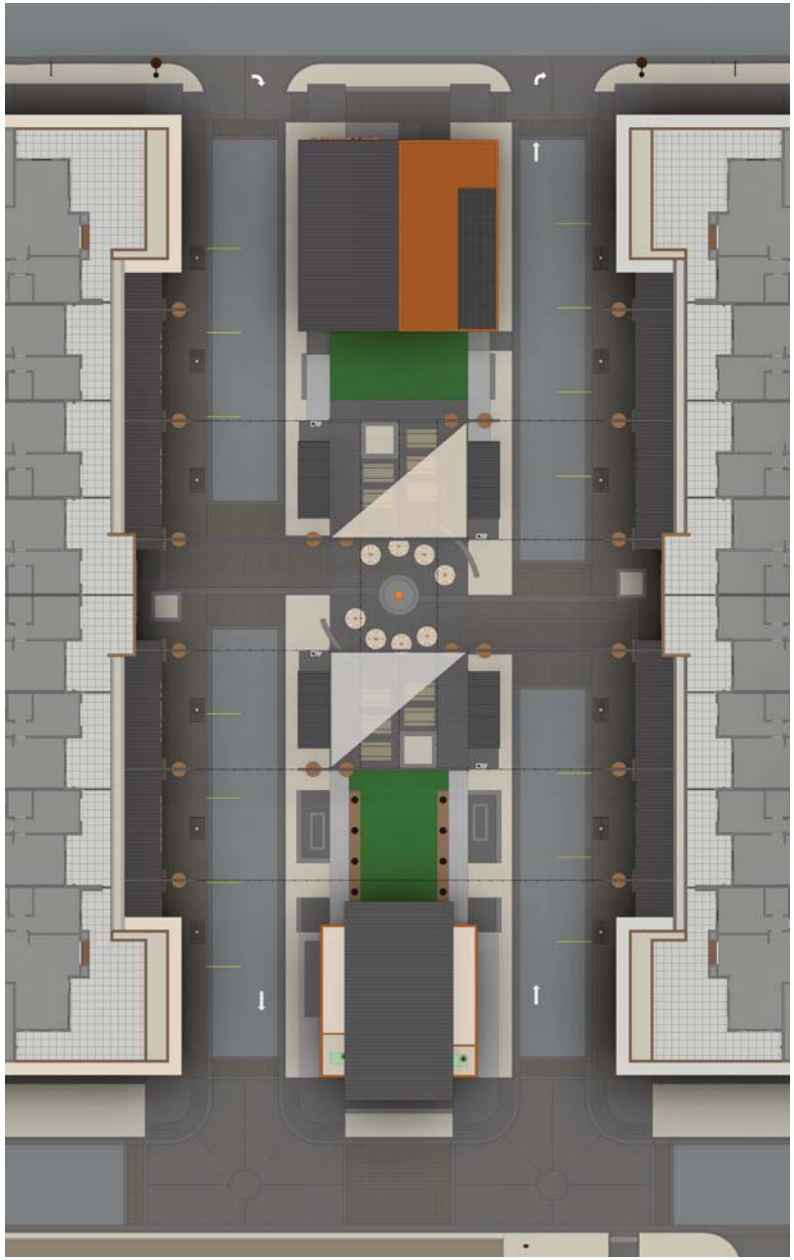

1 3D View - Plaza Area - from 2nd floor above

2 3D View - Plaza Area - from NW

NOTE: 3D Views shown for massing and character
Landscaping not shown for clarity

3 3D View - Plaza Area - from SE

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5 3D View - Bldg. II Main Lobby at Apache Blvd.

Bldg. II - Garage Wall on East side - without Landscaping

Bldg. II - Garage Wall on East side - with Landscaping

4 3D View - Bldg. II Ground Floor at NEC

1 3D View - Bldg I Ground Floor at NEC

2 3D View - Bldg. I - Main Lobby off Apache Blvd.

3 3D View - Bldg. I Ground floor at NWC

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Kristjan Sigurdsson
Signature
Date: 6/21/2016

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3D Views - Vignette

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A1.8.4

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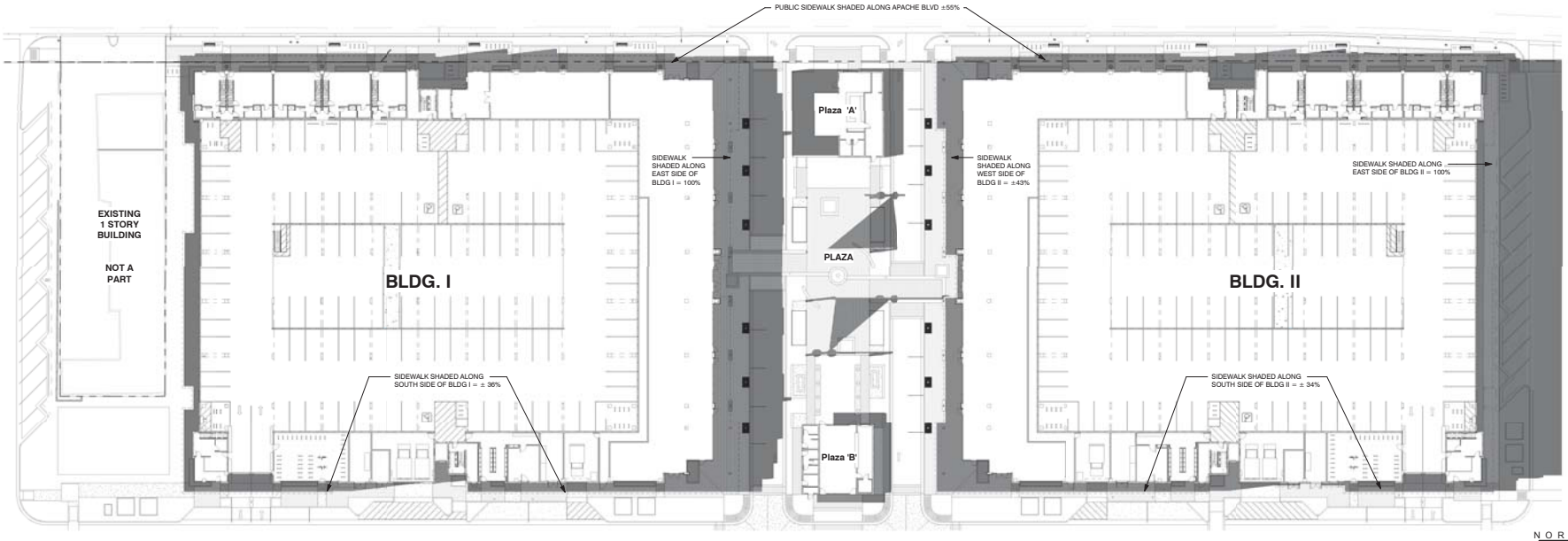
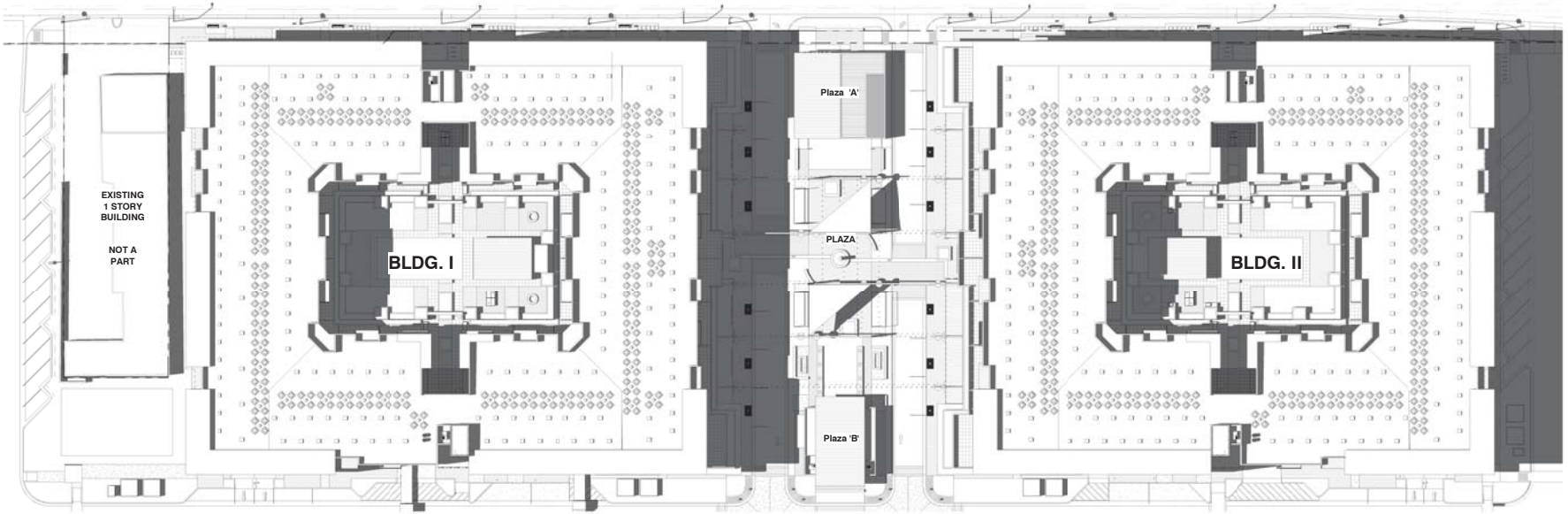


1 PHASE I - DEVELOPMENT SHADOW STUDY - GROUND LEVEL @ 3pm ON SUMMER SOLSTICE (SHOWING SHADE FROM BUILDING ELEMENTS ABOVE)
1" = 30'-0"

SCALE: 0' - 1" = 30' - 0"
0' 15' - 0" 30' - 0" 60' - 0"

NORTH

NOTE: SHADED AREA SHOWN DOES NOT INCLUDE SHADE PROVIDED BY TREES ALONG ALL SIDEWALKS



2 PHASE I - DEVELOPMENT SHADOW STUDY - ROOF LEVEL @ 3pm ON SUMMER SOLSTICE
1" = 30'-0"

SCALE: 0' - 1" = 30' - 0"
0' 15' - 0" 30' - 0" 60' - 0"

NORTH

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Development Shadow Study

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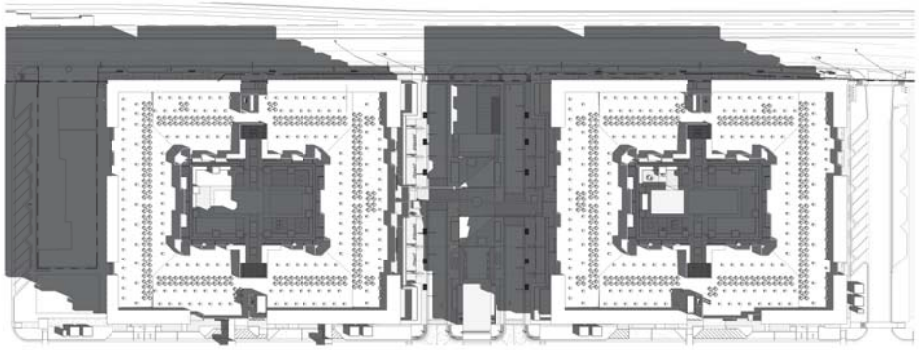
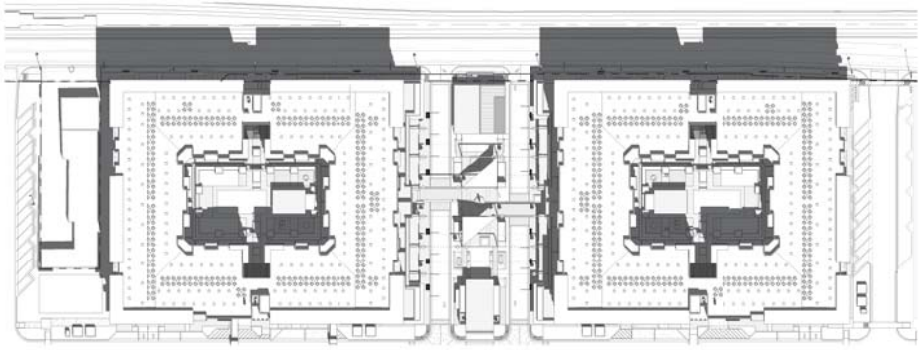


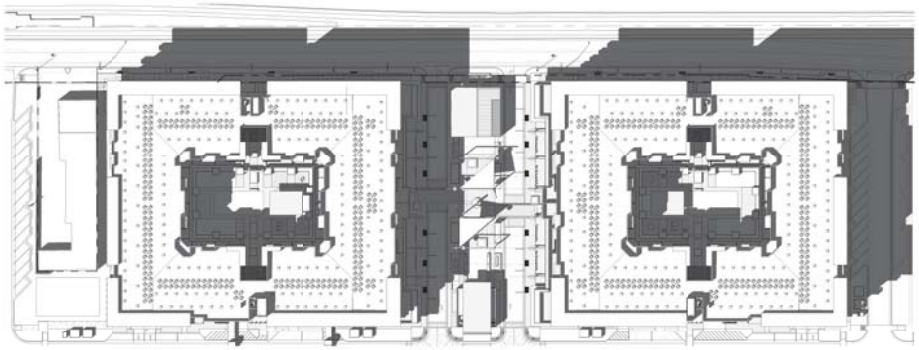
1 PHASE I - VERNAL EQUINOX - MARCH 20th @ 9am
1" = 60'-0"

NORTH



2 PHASE I - VERNAL EQUINOX - MARCH 20th @ 12pm
1" = 60'-0"

NORTH



3 PHASE I - VERNAL EQUINOX - MARCH 20th @ 3pm
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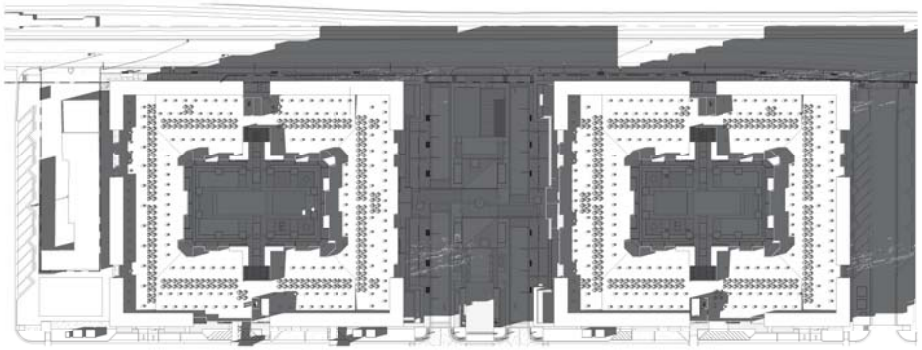

4 PHASE I - VERNAL EQUINOX - MARCH 20th @ 5pm
1" = 60'-0"

NORTH

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SUITE 202
SCOTTSDALE, AZ 85251
PH: 480-970-8900

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JOB NUMBER:
DRAWN BY: AD
CHECKED BY: KS
ISSUE DATE: 06/22/2016

32407 KRISTJAN SIGURDSSON
REGISTERED ARCHITECT
ARIZONA, U.S.A.
Expires 3/31/2018

SHEET TITLE:
Solar Study - Vernal Equinox

SHEET NUMBER:
A1.7.1

PAD / DPR #3

6/15/2016 11:17:43 AM

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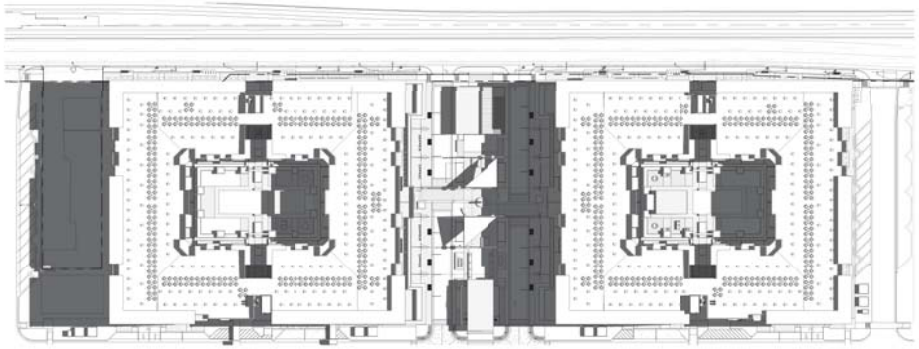

1 PHASE I - SUMMER SOLSTICE - JUNE 20th @ 9am
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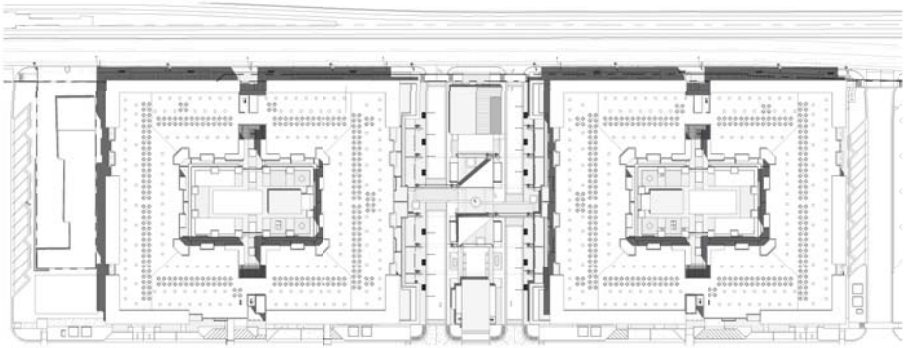

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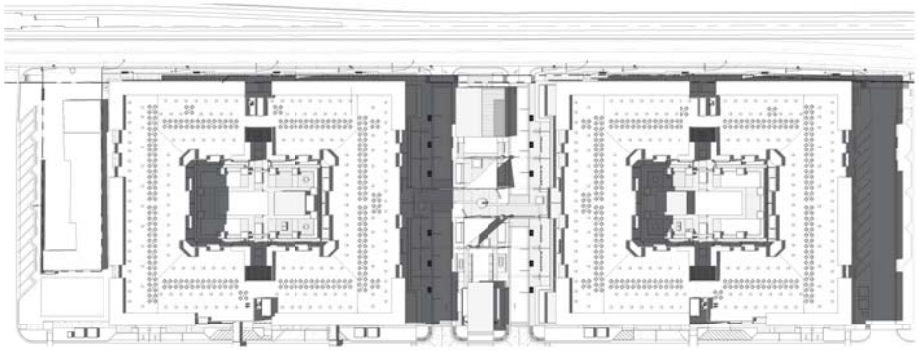
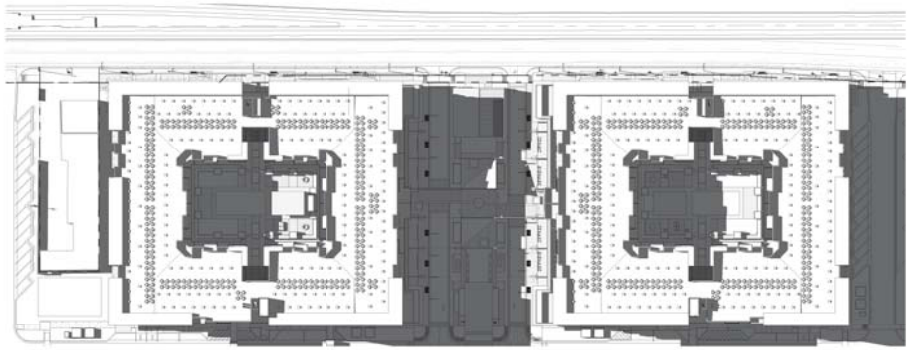


3 PHASE I - SUMMER SOLSTICE - JUNE 20th @ 3pm
1" = 60'-0"

NORTH



4 PHASE I - SUMMER SOLSTICE - JUNE 20th @ 5pm
1" = 60'-0"

NORTH

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ISSUE DATE: 06/22/2016

REGISTERED ARCHITECT
32407
KRISTJAN SIGURDSSON
ARIZONA U.S.A.
Series I - 3/8/16

SHEET TITLE:
Solar Study - Summer Solstice

SHEET NUMBER:

A1.7.2

PAD / DPR #3

6/15/2016 11:28:25 AM

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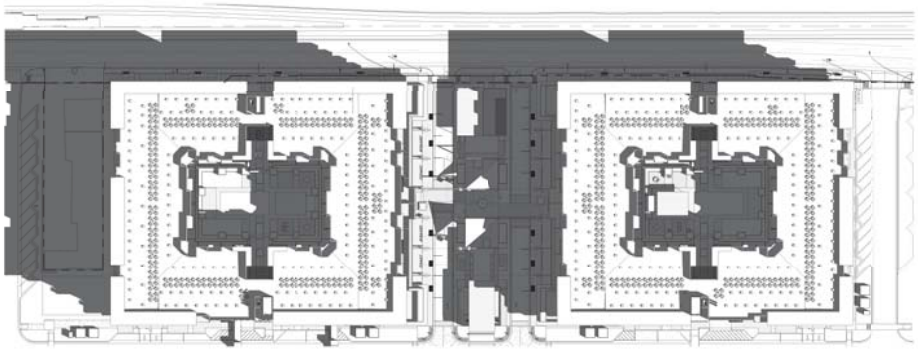
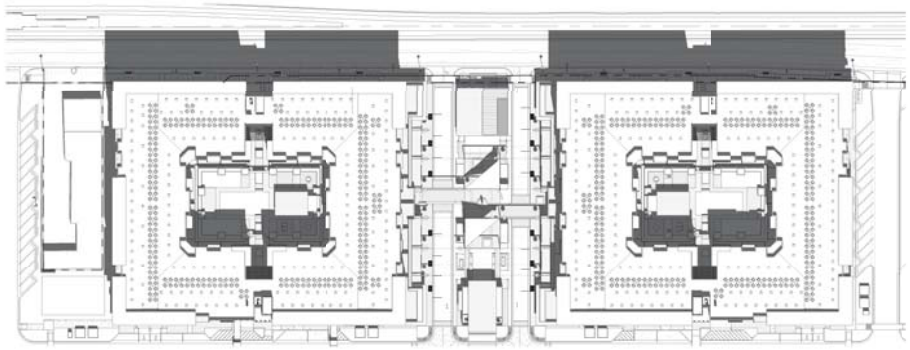


1 PHASE I - AUTUMNAL EQUINOX - SEPTEMBER 22th @ 9am
1" = 60'-0"

NORTH



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1" = 60'-0"

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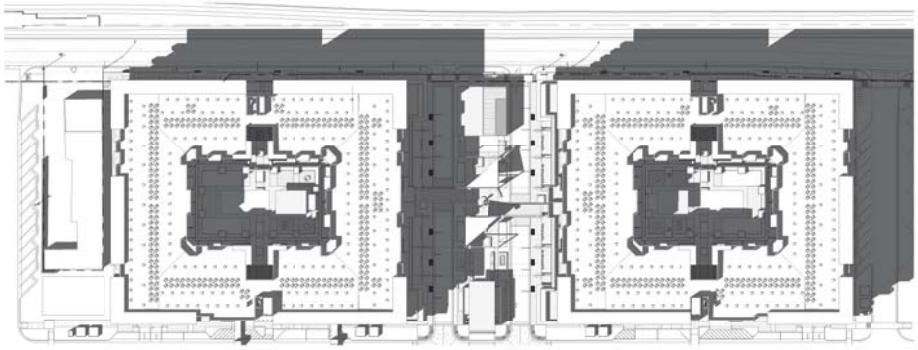

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1" = 60'-0"

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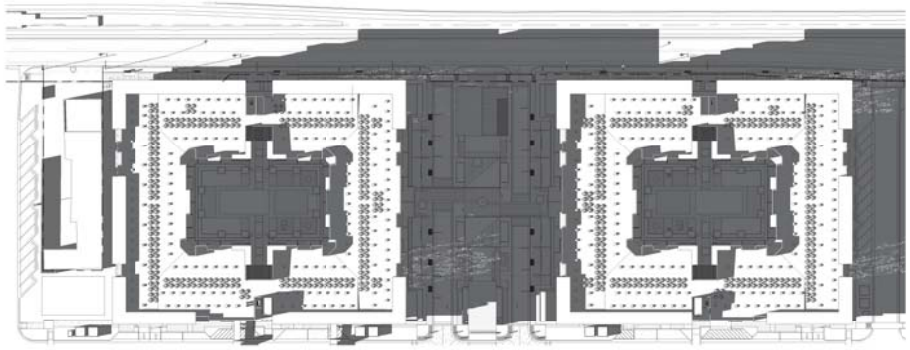

4 PHASE I - AUTUMNAL EQUINOX - SEPTEMBER 22th @ 5pm
1" = 60'-0"

NORTH

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JOB NUMBER:

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ISSUE DATE: 06/22/2016

32407 KRISTJAN SIGURDSSON

SHEET TITLE:
Solar Study - Autumnal Equinox

SHEET NUMBER:

A1.7.3

PAD / DPR #3

6/15/2016 1:22:17 PM

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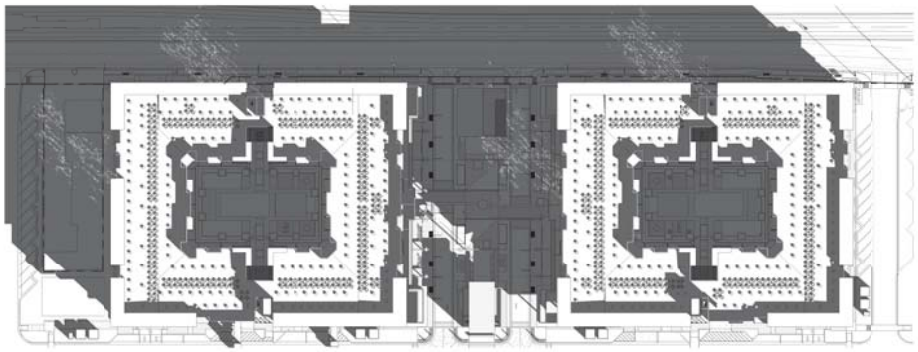

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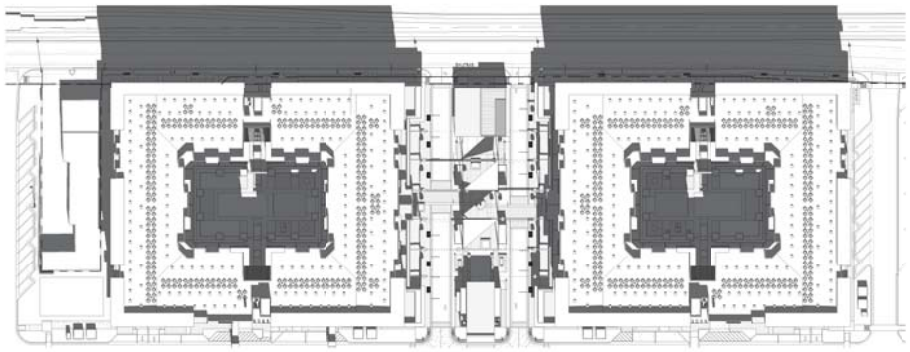
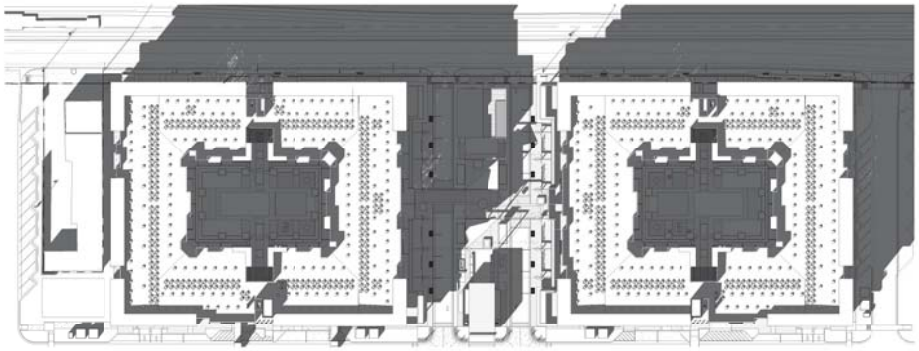
1" = 60'-0"

NORTH



2 PHASE I - WINTER SOLSTICE - DECEMBER 21st @ 12pm
1" = 60'-0"

NORTH



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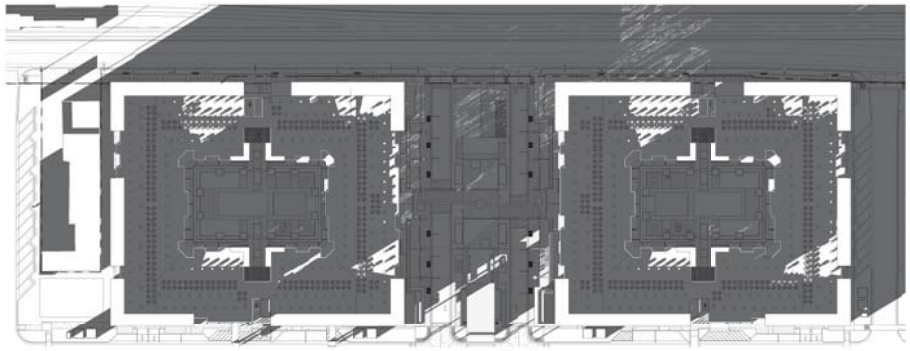
1" = 60'-0"

NORTH



4 PHASE I - WINTER SOLSTICE - DECEMBER 21st @ 5pm
1" = 60'-0"

NORTH

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DRAWN BY: AD

CHECKED BY: KS

ISSUE DATE: 06/22/2016

REGISTERED ARCHITECT 32407 KRISTJAN SIGURDSSON ARIZONA U.S.A.

SHEET TITLE:
Solar Study - Winter Solstice

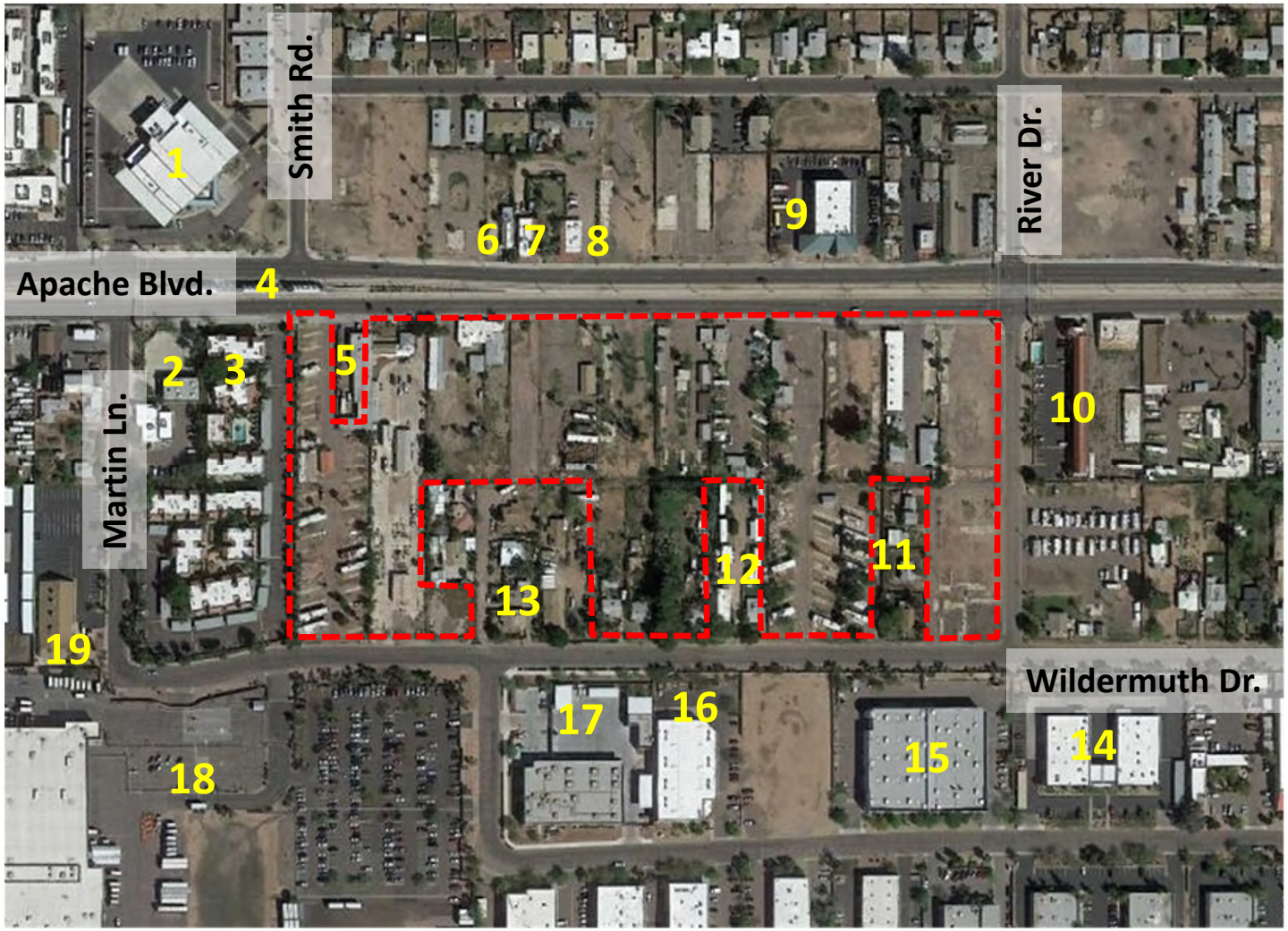
SHEET NUMBER:

A1.7.4

PAD / DPR #3

6/15/2016 1:47:40 PM

Exhibit A: Site and Surrounding Uses

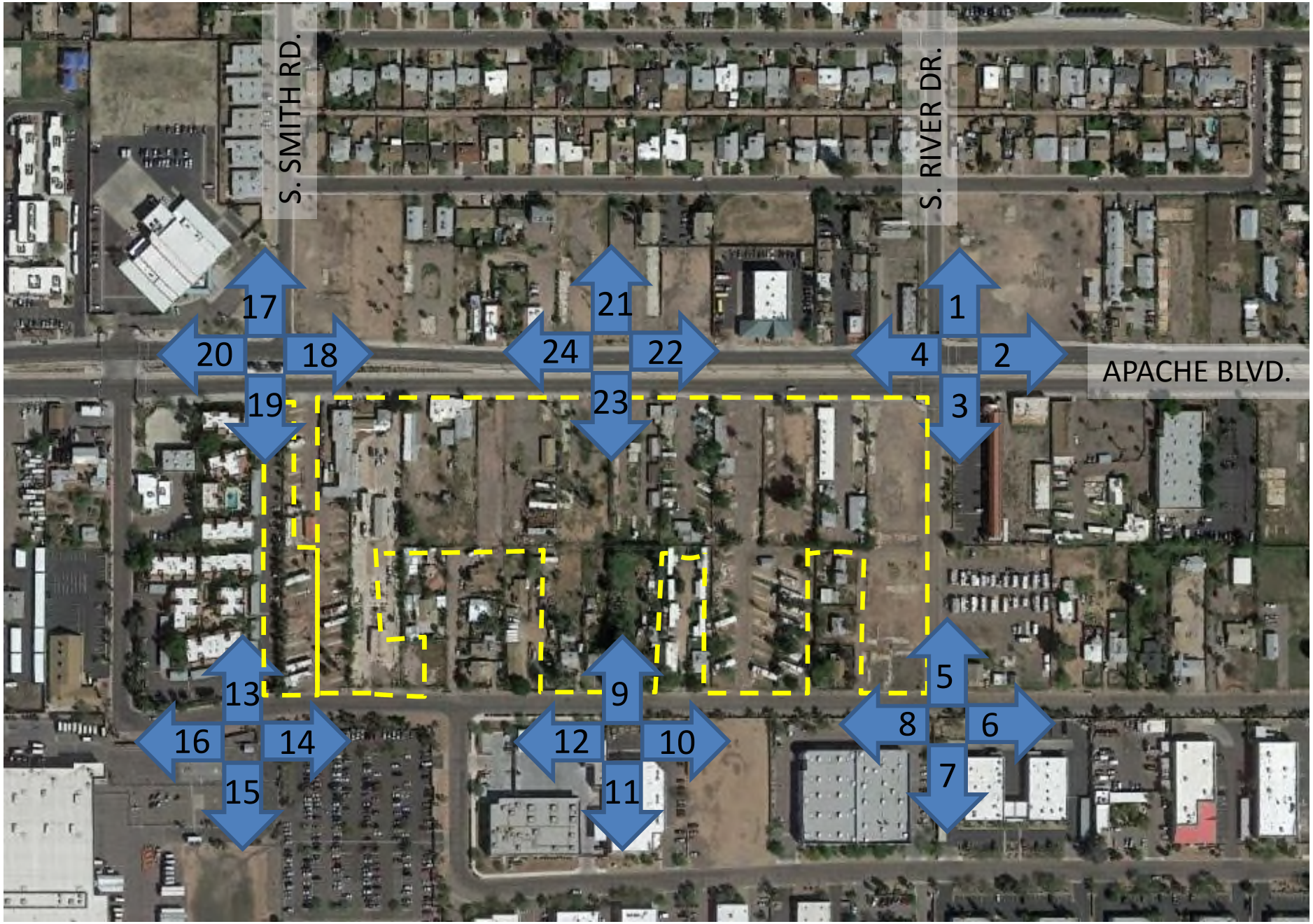


EASTLINE VILLAGE
LIVE - WORK - PLAY

1. U.S. Post Office
2. Persepolis Auto
3. La Paloma Apartments
4. Apache/Smith LRT Station #26
5. Hopper's Automotive
6. Palm Reader Tarot Cards
7. Residential Triplex
8. Residential Fourplex
9. American Five Star Transmission
10. Rodeway Inn
11. Single family homes
12. Drago Estates mobile home park
13. Single family homes
14. Alliance Fire Protection Co.
15. All Wood Treasures Furniture
16. U.S. Industrial Fastener of Arizona
17. City of Tempe Fire Department Support Services
18. UPS Customer Center
19. Evangelical Fomosan Church

Eastline Village

EAST LINE: SITE CONTEXT PHOTO EXHIBIT



ATTACHMENT 72

EASTLINE VILLAGE

N

1. NEC facing north

2. NEC facing east

3. NEC facing south

4. NEC facing west

5. SEC facing north

6. SEC facing east

7. SEC facing south

8. SEC facing west

9. Mid-block Wildermuth facing north

10. Mid-block Wildermuth facing east

11. Mid-block Wildermuth facing south

12. Mid-block Wildermuth facing west

13. SWC facing north

14. SWC facing east

15. SWC facing south

16. SWC facing west

17. NWC facing north

18. NWC facing east

19. NWC facing south

20. NWC facing west

21. Mid-block Apache facing north

22. Mid-block Apache facing east

23. Mid-block Apache facing south

24. Mid-block Apache facing west

Eastline Village

Traffic Impact Study

Southeast Corner of River Drive
and Apache Boulevard
in Tempe, Arizona

March 2016
Project No. 16-0160

Prepared For:
K&I Homes
4422 N. Civic Center Plaza
Scottsdale, Arizona 85251

For Submittal to:
City of Tempe

Prepared By:

CivTech

10605 North Hayden Road
Suite 140
Scottsdale, Arizona 85260
480-659-4250

EXECUTIVE SUMMARY

This report documents a traffic impact study prepared for the proposed EASTLINE Village development to be located in the southwest corner of River Drive and Apache Boulevard in the City of Tempe, Arizona. The project is proposed in two (2) phases. The first phase will develop two buildings inclusive of a bar, restaurant, gym/yoga studio, office/retail space, and apartments. The second phase will develop a third and fourth building, adding additional office/retail space and apartments. CivTech Inc. has been retained to complete a traffic impact study for the proposed development during the planning process.

The purpose of this study is to address traffic and transportation impacts of the proposed development on the surrounding streets and intersections. This was prepared to standard criteria set forth by the City of Tempe in their *Guide for the Preparation of Transportation Impact Studies, updated 05/2014*. The specific objectives of the study are:

1. Evaluate lane requirements on all existing roadways and at all existing intersections within the study area.
2. Determine future level of service for all proposed major intersections within the study area and recommend any capacity related improvements.
3. Determine necessary lane configurations at all major intersections within the proposed development to provide acceptable future levels of service.
4. Evaluate the need for future traffic control changes within the proposed study area.
5. Evaluate the need for auxiliary lanes at stop and signal controlled intersections.

This study evaluates the existing year (2016), Phase I opening year (2017), and Phase II opening year (2025).

The following conclusions and recommendations have been documented in this study:

General

- As shown in **Table 3**, the existing study intersections operate at an acceptable level of service (LOS D or better), with the exception of the intersections of **McClintock Drive and Apache Boulevard**, under the existing lane configurations and stop control shown in **Figure 2**.
- The intersection of **McClintock Drive and Apache Boulevard** experiences an unacceptable level of service in the westbound approach during the AM peak hour as well as the eastbound approach during the PM peak hour. It its existing condition, the delay in the eastbound approach in both peak hours is around 60-seconds.
- Construction of Eastline Village will be analyzed in two (2) phases. Phase I will assume the completion of Buildings I and II in the opening year 2017. Phase II will assume the full build-out of the development with the completion of Buildings III and IV in horizon year 2025.

Opening Year 2017

- By Phase I completion, the development is anticipated to generate 3,803 weekday daily external trips with 299 occurring in the AM peak hour and 360 occurring in the PM peak hour.
- As shown in **Table 7**, the 2017 Synchro analysis results reveal that all study intersections will operate at an acceptable level of service (LOS D or better), with the exception of the intersections of **McClintock Drive and Apache Boulevard**, under the proposed lane configurations and stop control shown in **Figure 12**. As analyzed in the existing intersection conditions, this intersection experiences unacceptable levels of service in the westbound approach during the AM peak hour as well as the eastbound approach during the PM peak hour.

Horizon Year 2025

- Upon Phase II completion, the development is anticipated to generate 5,267 weekday daily external trips with 425 trips occurring in the AM peak hour and 506 trips occurring in the PM peak hour.
- As shown in **Table 8**, the 2025 Synchro analysis results reveal that all study intersections will continue to operate at acceptable levels of service, with the exception of the intersections of **McClintock Drive and Apache Boulevard**, **River Drive and Apache Boulevard**, and **SB Price Road and Apache Boulevard**.
- Without the addition of site traffic, the intersection of **McClintock Drive and Apache Boulevard** is expected to achieve poor levels of service in the westbound approach during the AM peak hour as well as the southbound and eastbound approaches in the PM peak hour. The addition of site traffic is anticipated to create a poor level of service in the westbound approach during the PM peak hour.
- The intersection of **River Drive and Apache Boulevard** is expected to achieve a poor level of service in the westbound approach during the PM peak hour. The addition of site traffic creates a large number of westbound left-turns at this intersection. The delay for a vehicle making a westbound left-turn is about 185-seconds.
- The intersection of **SB Price Road and Apache Boulevard** is expected to achieve a LOS “E” in the eastbound approach during the PM peak hour. The addition of site traffic is anticipated to create an eastbound delay of about 62-seconds.
- As shown in **Table 9**, all problematic intersections were able to be mitigated to acceptable levels of service, with the exception of the intersection of **McClintock Drive and Apache Boulevard**. As a major intersection in the City of Tempe with restrictions due to the light-rail, a suitable mitigation for this intersection could not be established. As an intersection that currently experiences poor levels of service, it is the responsibility of the City to mitigate this issue.
- Right-turn deceleration lanes are not warranted at any proposed access points. The driveways on Apache Boulevard do not meet the threshold right-turn volume of 40

vehicles per hour (vph). Due to the minimal through volumes and 25 mph speed limit on River Drive, a right-turn deceleration lane is not required at Access E.

- Queue storage lengths for the 2025 build-out year are shown in **Table 10**. It should be noted that the large number of vehicles anticipated to make a westbound left-turn at the intersection of River Drive and Apache Boulevard are anticipated to spill back onto Apache Boulevard. Analysis for the 2017 interim resulted in a recommended queue storage of 275 feet for this turning movement. Additional storage length calculations should be completed prior to a change in intersection stop control.
- Existing sight distance was not measured at the site access points. The contractor should ensure that adequate sight distance is provided at the intersections to allow safe left and right turning movements from the development. Landscaping should be maintained at a maximum of three feet in height. Tree branches lower than seven feet should be trimmed to meet current acceptable landscape requirements while maintaining sight distance.

GAMMAGE & BURNHAM
A PROFESSIONAL LIMITED LIABILITY COMPANY
ATTORNEYS AT LAW
TWO NORTH CENTRAL AVENUE
15TH FLOOR
PHOENIX, ARIZONA 85004

TELEPHONE (602) 256-0566
FACSIMILE (602) 256-4475

WRITER'S DIRECT LINE
(602) 256-4439
rlane@gblaw.com

April 28, 2016

VIA ELECTONIC DELIVERY

Karen Stovall, Senior Planner
Tempe City Hall Municipal Complex
Community Development Department
Lower Level, East Side
31 East Fifth Street
Tempe, AZ 85281
(480) 350-8432
Karen_Stovall@tempe.gov

RE: Eastline Village (Tempe Case No. PL160097)
Public Involvement Final Report

Dear Karen:

This firm represents Eastline Land Ventures L.L.C. (the "Applicant"), a partnership between DMB Associates, Inc. ("DMB"), Apache Partners and Trust No. 95000148. The Applicant is requesting zoning map amendment, planned area development overlay and development plan review approvals (the "Applications") for approximately 13.56 gross acres located at the southwest corner of the intersection of East Apache Boulevard and South River Drive (the "Property"). The purpose of the Applications is to allow for the redevelopment of the Property with a mixed-use urban village (the "Project") which will anchor the east portion of Apache Boulevard and serve as an eastern entry to Tempe.

The purpose of this correspondence is to summarize the project team's discussions with the community in regard to the Project to date. The team has made a concentrated effort to reach out to the community. To date, the team has met with and/or corresponded with representatives of Citizen for a Vibrant Apache Corridor (CVAC) and conducted an official neighborhood meeting. The team has had informal conversations with the Tempe Apache Boulevard Business Association (TABBA) and some representatives of Arizona State University (ASU). The project team will present the Project at the June 1, 2016 TABBA meeting and will have more formal conversations with ASU representatives.

Mailing Notification and Site Posting Dates and Persons and Associations Notified:

On March 28, 2016, the Applicant's legal representative mailed the enclosed notification packet advising of the Project, Applications, and the Project's official neighborhood meeting scheduled for April 19, 2016 to the recipients, including property owners within 600 feet of the

Property, registered associations within one-quarter mile of the Property, and current tenants of the Property. The affidavit of notification and the associated notification map and lists for the notification are enclosed with this report.

On March 31, 2016, Dynamite Signs posted three signs on the Property advising of the Project, the Applications, and the neighborhood meeting scheduled for April 19, 2016. Photographs of the posted sign and the associated affidavit of sign posting are enclosed with this report.

On April 1, 2016, the Applicant's legal representative mailed the enclosed notification packet to all recipients of the March 28th notification to ensure the provision of the aerial photograph of the Property and surrounding area referenced in the first notification. The affidavit of notification and the associated notification map and lists for the notification are enclosed with this report.

Neighborhood Meeting:

On April 19, 2016, we held our official neighborhood meeting for the Project at the Tempe Apache Police Substation located at 1855 East Apache Boulevard. The meeting began at approximately 6:00 p.m. and lasted approximately one hour and 15 minutes. Representatives for the Applicant, Gammage & Burnham, K&I Homes (the Applicant's architect), Espiritu Loci (the Applicant's planning and development consultant) and the Tempe Community Development Department were present. Approximately 18 members of the public also attended the meeting.

The Applicant's legal representative introduced the Applicant and project team and discussed the purpose of the Applications filed with the City. The Applicant's representatives provided an overview of the Applicant's history with the Property and experience in successfully developing mixed-use and master planned developments of a similar scale to the Project, as well as the redevelopment proposal for the Property. The Applicant's architect provided an overview of the general design concept for the Project.

Questions asked by members of the public in attendance at the meeting pertained to 1) the Project's phasing plan; 2) the Project's target demographic and inclusion of "family friendly" amenities and features; 3) the proposed number of residential units; 4) if the Project would include any for-sale units; 5) the design and intended use of the Project's plaza; 6) if the development proposal included property owned by the City of Tempe; and, 7) proposed building materials. All questions raised by members of the public in attendance at the meeting were addressed by the project team. General community interest in regard to the Project needing to be incorporated into the surrounding community have been addressed through the openness (i.e. not walled off) of the Project's site design and the provision of an amenity plaza capable of hosting community/neighborhood events. General comments regarding the Project needing to be family friendly have been addressed through the provision a varied unit mix, high-quality interior features and top-tier amenities.

Contact information for persons in attendance at the meeting is provided on the enclosed sign-in sheet. One comment sheet expressing support for the Project was completed and submitted by a member of the public attending the meeting. The submitted comment sheet is enclosed.

Meeting with CVAC

On March 16, 2016, the development team met with CVAC. The project team described the project, talked about the transition of Apache Boulevard, the elements necessary to create a village in the community and how this development will be open to the surrounding properties. CVAC members in attendance appeared to be generally supportive of the project.

Summary of E-Mail and Phone Correspondence with Neighbors and Interested Parties:

To date, the Applicant's legal representative has received three phone calls from neighbors in regard to the Project.

The purpose of the first two calls was to advise that the aerial photograph of the Property referenced in our March 28, 2016 notification letter advising of the Project, Applications, and the Project's official neighborhood meeting had not been included in our notification packet. In response, the Applicant's legal representative mailed the noted aerial photograph of the Property to all recipients of the March 28th notification packet on April 1st. On March 31st, the Applicant's legal representative also e-mailed an electronic copy of the noted aerial photograph to Matt Nelson of the Escalante Neighborhood Association. Copies of the noted notification and e-mail correspondence are enclosed with this report.

On April 25th, the Applicant's legal representative received a phone call from Mike Williams. The purpose of Mr. Williams call was to advise that he had recently spotted migratory American Kestrel falcons on the Property and to learn about the Project's development timeline. The Applicant's legal representative advised Mr. Williams that the Project was in the early stages of the entitlement and development plan review process and that construction activity on the Property was not imminent. Based on the information provided by the Applicant's legal representative, Mr. Williams indicated that the falcons' current breeding season would not be disturbed.

On April 26th, the Applicant's legal representative received a phone call from Bob Stafford, area property owner, requesting the provision of a copy of the mailing notification packet for the Project's official neighborhood meeting held on April 19th. The Applicant's legal representative mailed the requested packet to Mr. Stafford on April 26th.

To date, the Applicant's legal representative has received one e-mail expressing opposition to the Project. The received e-mail is enclosed with this summary.

Total Number of Persons Notified and/or Participating:

As reflected by the enclosed notification lists and sign-in sheets from the neighborhood meeting conducted on April 19th, as well as the summary of e-mail and phone correspondence to date provided above, approximately 154 persons have been notified of the Project and Applications and/or participated in the public review process to date.

Continued Outreach:

The Applicant and the Applicant's legal representative intend to continue to meet with community members who express an interest in the Project. In the event that any additional correspondence or meetings occur, an update to this report will be provided as we get closer to public hearings.

Please let us know if you require any additional information in regard to the summary of meetings and public outreach provided above.

Sincerely,
GAMMAGE & BURNHAM P.L.C.

By

Rob Lane
Land Use Planner

Enclosures

Robert Lane

From: Annelie Muller <[redacted]>
Sent: Saturday, April 23, 2016 3:57 PM
To: Robert Lane
Subject: Re: Case# PL160097

Follow Up Flag: Follow Up
Due By: Saturday, April 23, 2016 4:43 PM
Flag Status: Flagged

On Apr 23, 2016 3:52 PM, "Annelie Muller" <[redacted]> wrote:

I hereby opose your plan to build any 4story buildings on Apache Blvd.between Smith and River Ave.also Condos. Plus sofar the Buildings you have builded the Colors you have done are a complete Eyesore.Also your lawyer did not send to all the residences on my street or any other street letters with your attention on your plans.this highly Hispanic neighborhood.I am a senior and eventually I will be moving to a 55and up apartment complex.The rent you are charging for a 1bedroom is outragues.I could not afort this amount. Anyways I'm against your proposal.Also in case noone had informed in the apartments on River Ave.there are living alot of Sexafenders. Sincerely Annelie Muller [redacted]

Jarrad, Cynthia

From: Jarrad, Cynthia
Sent: Wednesday, August 17, 2016 8:11 AM
To: Jarrad, Cynthia
Subject: FW: Eastline Project - August 23 Agenda.

-------- Original message --------
From: Matt Nelson <
Date: 8/16/16 12:50 PM (GMT-07:00)
To: "Adame, Sarah" <Sarah_Adame@tempe.gov>
Cc: mvaz@gblaw.com
Subject: Eastline Project - August 23 Agenda.

To: Tempe Development Review Commission

I will be working during your meeting hours but I would like to comment on one of your agenda items.

We feel the Eastline Project will be a great improvement to our neighborhood. The south side of Apache in this area is the source of much crime and the area full of empty lots and abandoned buildings. This project should be a great improvement.

This area needs decent high quality housing. These type of residential projects should lead to greater commercial and retail options which are lacking along Apache Ave.

We hope you approve this project.

Thank you.

Matt Nelson

President, Escalante Neighborhood Association

Matthew Salenger, AIA; co-chair for Citizens for a Vibrant Apache Corridor (CVAC)

[redacted]

August 21, 2016

City Council & Design Review Commission
City of Tempe

To Whom It May Concern,

When we founded CVAC in 2014, one of our initial and most important goals was to improve the devastatingly disturbing conditions along the east portion of Apache Boulevard. The area has for years been lined with derelict buildings, burned out structures, failing businesses, and daily visible crime.

For years we have been advocating for the city to remove the worst vacant structures that serve to increase crime and decrease the area's development viability. While the City continues to seek legal methods to assist our area with this need, we have been looking forward to the Jeff Jones/DMB Eastline Project in order to finally make some progress on improving the eastern side of the corridor. We see this project as a crucial step in forming all of Apache Corridor into what was envisioned when the light rail arrived nearly ten years ago.

In this letter, I will attempt to portray why CVAC feels it is critical for the Design Review Commission (DRC) and City Council to approve this project.

1. Working with the community. As you may know, our group includes all the neighborhood association chairs along the corridor. We attempt to speak for the neighborhoods and advocate for the most appropriate development in our area. We were approached by Jeff Jones over two years ago to discuss this project, and have been working with him and (later) DMB to ensure this project is a big gain for our area. We supported Jeff's initial vision and we also fully support the current proposal because it is well designed and appropriate for our area.

2. Providing for the community. Not only does the project include a massive property clean-up and investment in our area, it does so with some of the most thoughtful and impressive planning we have seen to date. Taking on the very best of current urban planning (particularly those put forward in Jeff Speck's book, Walkable City), this development allows for a maximum of mobility, porosity, and urbanity with just the right level of density. By including an area for public gatherings and "hang-outs" within a plaza, it provides a space that (thus far) no other developer has given us along

Apache, and is something we really need. Beyond all the great planning and taking our area into consideration, it is the simple act of investing that is the most valuable of all. We are doubly pleased they are planning it correctly.

3. Providing economic viability. This particular stretch of Apache could have easily been first developed by a company that provides rental units at the lowest quality, which would have made it difficult to improve the area upward and bring much-needed business. Instead, Jones/DMB are taking the risk and aiming high. By supplying high-quality market-rate housing along Apache along with the gathering plaza at the center of the development, this eastern side of Apache has something to build on for the future. Their planning also provides the very best chance for economic success to actually bring retail to the area. Unlike most of other previous developments along Apache, our understanding is DMB provides funds in their pro forma to assist businesses in moving into their development.

4. Creating a successful model. Jones/DMB truly seems to understand the need to attract people from outside the development to this location to make it successful for the tenants and the community. They are supplying the plaza, but also the street access and free parking as part of the initial development to make the site work. Only by making it easy for outsiders to be a part of the site will it allow businesses to flourish. And by doing so, they also attract the next phase of tenants. This maximizes true success for the development and our area.

5. Providing for-ownership housing. One of CVAC's main concerns is increasing owner-occupied housing in our area. This is the first development to provide any ownership opportunities during our tenure. And their idea of providing it through work-live units is an innovative and intriguing one. Here again, it is our understanding they are planning on providing funds for the commercial build-out for the owners that purchase these units. As a part-time developer myself, I understand the incredibly difficult task to make ownership financially feasible for large developments in our current economic environment. This is a bold step towards finding a viable model for areas such as ours.

For all these reasons and more, we ask that the DRC and City Council approve the Eastline Project without delay. We view the construction of this development as a tremendously important game-changing moment for the Apache Corridor.

Sincerely yours, Matthew Salenger, AIA